#### **ORDINANCE NO. 24-07**

e conste

AN ORDINANCE APPROVING THE PRELIMINARY AND FINAL DEVELOPMENT PLATS/PLANS AND A SPECIAL USE PERMIT FOR THE LIFESTYLES OF MANTENO PLANNED UNIT DEVELOPMENT GOVERNING APPROXIMATELY 15.57 ACRES OF VACANT REAL PROPERTY LOCATED NORTHEAST OF SOUTHCREEK DRIVE AND MARQUETTE PLACE SOUTH (PIN 03-02-21-217-024)

TIMOTHY O. NUGENT

Village President

TIMOTHY J. BOYCE TODD CROCKETT DIANE DOLE JOEL GESKY SAMUEL J. MARTIN WENDELL PHILLIPS

Trustees

**ROBIN BATKA** 

Village Clerk

Prepared by LOUIS F. CAINKAR, LTD. Village Attorney

#### **ORDINANCE NO. 24-07**

AN ORDINANCE APPROVING THE PRELIMINARY AND FINAL DEVELOPMENT PLATS/PLANS AND A SPECIAL USE PERMIT FOR THE LIFESTYLES OF MANTENO PLANNED UNIT DEVELOPMENT GOVERNING APPROXIMATELY 15.57 ACRES OF VACANT REAL PROPERTY LOCATED NORTHEAST OF SOUTHCREEK DRIVE AND MARQUETTE PLACE SOUTH (PIN 03-02-21-217-024)

WHEREAS, the Village of Manteno ("Village") is a non-home rule municipality duly created and existing under the laws and Constitution of the State of Illinois;

WHEREAS, Curwick V, LLC, an Illinois limited liability company ("Petitioner" or "Owner/Developer") is the owner of approximately 12.98 acres of land zoned "C-2" located northeast of Southcreek Drive and Marquette Place South, Manteno, Illinois, having a P.I.N. 03-02-21-217-027, and being legally described as "Lot 22 in South Creek 2<sup>nd</sup> Addition, being a subdivision of part of the North Half of Section 21, Township 32 North, Range 12 East of the Third Principal Meridian, in Kankakee County, Illinois" (hereinafter "Subject Property");

WHEREAS, the Village approved a preliminary sketch plan for a planned unit development on the Subject Property for a portion thereof referred to as the "Lifestyles of Manteno";

WHERAS, on March 12, 2024, the Plan Commission of the Village of Manteno, pursuant to duly published notice, did hold a public hearing on the preliminary and final development plats/plans and a special use permit for the Lifestyles of Manteno planned unit development and the Petitioner and third-parties offered testimony and provided exhibits;

WHEREAS, the Plan Commission of the Village of Manteno did approve Recommendation 23-09, recommending that the Corporate Authorities of the Village approve the preliminary and final development plats/plans and a special use permit for the Lifestyles of Manteno planned unit development;

WHEREAS, on May 5, 2024, the Corporate Authorities of the Village did, through resolution, retroactively extend the time to twenty-eight (28) months following the approval of the sketch plan for the Developer to submit and have considered and approved the preliminary and final plans of development/plat of subdivision for the Lifestyles of Manteno planned unit development;

WHEREAS, the Corporate Authorities of the Village find that, subject to the Petitioner's compliance with the matters and conditions set forth herein and the Declaration of Easements, Covenants and Restrictions to be recorded against the Subject Property, the Lifestyles of Manteno planned unit development is in compliance and otherwise satisfies the standards of Section 9-4-9 and Section 9-14-12 of the Village of Manteno Municipal Code; and,

WHEREAS, the Corporate Authorities of the Village have considered the petition, the record of the of the Plan Commission meeting and hearing on the petition, and Plan Commission Recommendation 23-09, and find that the approval of the preliminary and final plats/plans of development and a special use permit for the Lifestyles of Manteno planned unit development is reasonable, appropriate, and in furtherance of the public welfare.

1 1

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Manteno, as follows:

#### Section 1

The recitals set forth in the above prefatory clauses are hereby adopted as the findings of the Village of Manteno and are expressly incorporated herein as a part of this ordinance.

#### Section 2

Subject to the matters, conditions, and stipulations set forth in this ordinance, the preliminary plat and the final plat/plan of development for the Lifestyles of Manteno planned unit development on and for the Subject Property, prepared by M. Gingerich Gereaux & Associates, dated August 16, 2022 with last revision date of October 3, 2023 ("PUD Plan"), which are incorporated herein by reference, are approved. The owner/developer shall pay a plat fee of \$1,000 per residential lot (\$14,000) payable in whole no later than thirty (30) days following the approval of this ordinance. In addition, the owner/developer shall pay a plat fee of \$1,000 per residential unit within each townhome building over one (1) residential unit when building permits are applied for each building in the Lifestyles of Manteno planned unit development.

#### **Section 3**

Subject to the matters, conditions, and stipulations set forth in this ordinance, a special use permit is granted for the Lifestyles of Manteno planned unit development on the Subject Property. Unless amended by ordinance, the PUD Plan and the plats provided therein and contemplated hereunder shall be valid and govern the use and development of the Subject Property.

#### Section 4

The approvals granted through this ordinance are subject to the following matters, conditions, and stipulations, which shall govern the plan, design, development, use, and operation of the Lifestyles of Manteno planned unit development on the portion of the Subject Property being developed for residential townhome uses as depicted in the PUD Plan. Reference to the planned unit development, generally, shall be a reference to the Subject Property. Any requirement, exception, process, matter or standard explicitly or implicitly authorized, set forth, or identifiable herein, in the PUD Plan, or on the final plat/plan of development for the Lifestyles of Manteno planned unit development and being contrary to the requirements of the Village Code shall be considered purposefully varied/excepted and granted subject to compliance with all other aspects of the final plan for the planned unit development, in whole.

- A. Generally: The Subject Property shall be subdivided in accordance with the final plat/plan of development. The Subject Property is zoned C-2, Commercial, with a special use for a mixed-use planned unit development. The Lifestyles of Manteno planned unit development shall integrate multi-family residential townhomes with commercial uses. That portion of the Lifestyles of Manteno planned unit development to be developed residentially (Lots 1-14) (the "residential portion") is approved and authorized as a part of a unified mixed-use development the commercial aspect (the "commercial portion") of which will be incorporated into this ordinance at a later date. Unless excepted, varied or otherwise provided herein, the planning, development, and use of the Subject Property, whether the residential or the commercial portion, shall comply and conform to and with the requirements of Village Code.
- Commercial Development: No development or use of the commercial portion of the planned unit development shall be permitted or authorized until such time as this ordinance is amended to account for the planning and development of the same following adherence to and compliance with all applicable procedures and standards of the Village Code. The commercial portion of the planned unit development shall not be conveyed, sold or transferred, and shall remain under the same ownership and control as the residential portion (Lots 1-14), until such time as this ordinance is amended to provide for the planning and development of the same. At the time this ordinance is amended, there shall be put in place a plan of unified control of the entire planned unit development in order to maintain the effectiveness and protections of the same. The Village recognizes that the commercial portion or parts thereof may be sold to third parties and the Village will not withhold its approval of any such amendment based on a change in ownership of the commercial portion or any part thereof, provided, prior to any such conveyance, sale or transfer, this ordinance is amended providing for development controls for the commercial portion to promote the harmonious development of the mixed uses within the entire planned unit development. No residential development or use shall be authorized for or on the commercial portion of the planned unit development or any portion thereof.

#### C. Residential Development:

(i) The residential portion of the Lifestyles of Manteno planned unit development (Lots 1-14) shall be held under the ownership of a single entity, partnership or person. No portion thereof may be sold, conveyed or otherwise transferred, voluntarily or otherwise, unless the entirety of the residential portion of the Lifestyles of Manteno planned unit development is so sold, conveyed and transferred as a part of the same transaction and only then to a single entity, partnership or person. The residential portion of the Subject Property shall not be conveyed, sold or transferred, and shall remain under the same ownership and control as the commercial portion, until such time as this ordinance is amended to provide for the planning and development of the commercial portion. The management, operation, maintenance and control of the residential portion of the Lifestyles of Manteno planned unit development shall be the responsibility of and performed by a designated property manager or, in its absence, the owner. Individual townhome units may be leased, but not sold, and shall remain under single ownership. No commercial

development or use shall be authorized for or on the residential portion of the planned unit development or any portion thereof.

1 1

- (ii) There shall be permitted a maximum density of 7.128 units per acre within the residential portion of the Lifestyles of Manteno planned unit development. There shall be no more than thirteen (13) townhome buildings within the residential portion of the Lifestyles of Manteno planned unit development, one (1) per platted lot excepting Lot 14. There shall be no more than sixty (60) townhome units with attached garages within the residential portion of the Lifestyles of Manteno planned unit development. There shall be no more than five (5) townhome units, with attached garages, in each townhome building on Lots 1, 2, 5, 9-13, and said lots shall be approximately 11,992 square feet each. There shall be no more than four (4) townhome units, with attached garages, in each townhome building on Lots 3, 4, 6-8, and said lots shall be approximately 9,653 square feet each. The minimum square footage for each townhome unit shall be 1,287 square feet, excluding the garage. There shall be no townhome buildings or townhome units on Lot 14, which shall be approximately 222,410 square feet.
- (iii) The townhome buildings on each lot shall be one (1) story and shall not exceed 20 feet in height, as measured from ground level to the peak of the roof. The front, rear, and side yard setbacks for the townhome buildings on each lot shall be as depicted in the PUD Plan. All exterior walls of individual townhome buildings shall be at least thirty (30') feet apart except that the exterior walls between the townhome buildings on Lot 6, 7 and 8 may be 29.7 feet. The design and make-up of all exterior components of the townhome buildings, including brick, siding, and roof, and their replacements, shall match and be constructed and made of the same style so as to present a consistent appearance throughout the planned unit development. Notwithstanding the above, the architectural elements of the townhome buildings, including roof lines, roof pitches, building elevations, and architectural accents may be vary to present a townhome design. Aluminum soffits and gutters shall be allowed. The elevations depicted on Exhibit "A" and the architectural accents and materials identified on Exhibit "B" are hereby approved and deemed to be in conformance with the Village's Code. The townhome buildings may be constructed with slab on grade construction. Asphalt drive-ways for the units shall be allowed.
- (iv) The Village shall approve monument signage within the Subject Property near the entrance locations proposed for the Subject Property. The Village hereby approves the development of the Subject Property with the parking spaces consisting of a combination of parking spaces in attached garages, parking spaces in driveways, and dedicated off-street parking spaces as depicted in the PUD Plan.
- (v) Lot 14 shall consist of common property to remain under the same ownership and control as Lots 1 through 13. There shall be constructed and maintained private roadways through the residential portion of the planned unit development on Lot 14. All private roadways paved to the specifications of a minor residential street cross-section with the exception that the width of the same shall be at least twenty-seven (27°) wide from back of curb to back of curb. No interior sidewalks shall be required, but an eight (8°) foot wide asphalt/concrete bike/pedestrian path shall be installed along the perimeter of the Subject Property along Marquette Place. No designated

recreational or common open space is required to be installed. No parking shall be permitted on the private roadway. If requested by the Village, the owner shall authorize the Village to enforce parking prohibition with the Subject Property.

(vi) The residential portion of the Lifestyles of Manteno planned unit development, including all improvements, shall be maintained, repaired, improved, replaced and reconstructed so as to keep the same safe, free of breaks, holes, and defects, in a good condition, effective for the purpose that any portion thereof may be intended or devoted, and otherwise in accordance with all applicable laws. This shall include, but not be limited to: (a) the maintenance, repair, and replacement of the townhome buildings; (b) maintenance the maintenance, repair, and replacement of all common property and limited common property including, but not limited to, fences, drives, parkways, sidewalks, walkways, streets, curbs, and utilities (not otherwise conveyed to the Village or utility company); and (d) the continued maintenance and effectiveness of any common services such as refuse collection, grass cutting, landscaping, and snow removal services. The Village shall be notified promptly of the name and contact information for any property manager responsible for the management, operation, maintenance and control of the residential portion of the Lifestyles of Manteno planned unit development, and any changes thereto.

#### D. Permitting and Construction.

- (i) The Village shall issue building permits upon approval of building and engineering plans for buildings within each phase of the Subject Property upon submission of a final plat depicting the lots within said phase. Each building shall be located within a lot created by such final plat. No more than one building shall be located within any lot. Upon completion of the improvements and buildings in such phase or portion thereof, the owner/developer shall cause to be prepared a plat identifying the exact location of the building and provided the buildings are located within the lot as depicted on the final plat approved by the Village, the Village shall issue an occupancy permit for the units in the building. The submittal of a survey showing each building contained within a lot depicted on the final plat shall be a condition to issuance of an occupancy permit for any unit in such building.
- (ii) The Subject Property shall be allowed to be constructed in accordance with the PUD Plan in up to three (3) phases, provided all roadways, street lighting, the bike/pedestrian path, utility lines, and public improvements shall be constructed and completed in the first phase undertaken.
- (iii) The townhome buildings shall be comprised of a mix of four (4) Unit and five (5) Unit buildings. Owner/developer shall have the right to adjust the mix of residential units based on market conditions and demand, provided the total number of units within the Subject Property shall not exceed sixty (60) and no building shall have more than five (5) units. Owner/developer shall have the right to deviate from the minimum square footage requirement by not more than five percent (5%) in the event that construction or design issues arise which make attaining the minimum square footage requirement impractical.

(iv) During normal business hours, full-time management shall be provided for the residential community, including a property manager and maintenance personnel. Management personnel shall be available seven (7) days a week. Owner/developer shall initially provide property management services from its offices at 600 N. Main Street, in Manteno, Illinois. Owner/developer shall cause rules and regulations to be adopted and implemented with respect to all tenants and guests within the Subject Property. A copy of said rules and regulations shall be provided to the Village. Any deeds conveying the Subject Property shall provide that the same are subject to the terms of the Special Use Permit.

4.60

- (v) Stock-piling of topsoil shall be permitted and shall be maintained by owner/developer. Owner/developer shall maintain and implement effective dust control measures during mass excavation and grading activities for all areas which have been or are being cleared or excavated and which are not planted with ground cover.
- (vi) After approval of the building plans for the first four (4) unit building and the first five (5) unit building, the Village shall limit its review of such building plans for additional buildings to any changes proposed in connection with such new buildings.
- (vii) Owner/developer shall dedicate free of cost to the Village, such easements and public improvements within and upon the Subject Property as are contemplated by the terms of this Ordinance or the PUD Plan. The Village agrees that to the extent that any utility easements initially granted by Owner/developer are so called "blanket easements", upon completion of construction of such utilities, the Parties agree to cause such blanket easements to be vacated and to grant and record easements which are limited to the actual location of such as-built utility.
- (viii) The parties acknowledge that storm water detention for the Subject Property has been previously provided in connection with other portions of South Creek Development. In the event that it is determined, based on the proposed development, that additional stormwater detention is required, the owner/developer shall have the right to provide additional detention areas, retention areas and storm water management areas (hereinafter collectively referred to as "detention areas") on portions of the Subject Property for such additional storm water generated by the development of the Subject Property in conformance with the Village's storm water management ordinances. All such detention areas within the Subject Property shall be constructed in accordance with Village ordinances and approved engineering plans and shall be constructed prior to the issuance of an occupancy permit for a residential structure in the Subject Property. Such additional detention, if required, may be connected to the detention facilities serving South Creek Development and shall be owned and maintained by the Village upon approval and dedication of the same.
- (ix) All exterior lighting and other decorative illumination within the Subject Property shall be fully shielded and downward directed. Owner/developer shall be allowed to use either the Village's standard street lighting fixtures or the street lighting fixtures proposed in the PUD Plan. The style of such street lighting and lighting standard shall be subject to approval by the Village. No light standard shall exceed twenty (20) feet in height.

(x) Owner/developer shall require the installation of a landscape barrier or privacy fence along the easterly line of the commercial portion of the Subject Property in connection with the development of such commercial portion.

 $\mathbf{n} = \frac{-\tau}{T}$ 

- (xi) Owner/developer shall not be required to signalize the entrances, construct additional turn lanes or any other improvements to Marquette Place. Owner/developer shall not be required to dedicate any further right-of-way or easements for roadway purposes in connection with the development of the residential portion of the Subject Property.
- (xii) Owner/developer and its successors, assignees and grantees, shall not object to and agree to cooperate with the Village, and the Village will establish, a special service area ("SSA") for the residential portion of the Subject Property to be utilized as a backup mechanism for the care and maintenance of the common areas and facilities, which include but are not limited to common landscaped areas, subdivision monumentation, signage, and any other common areas of the subdivision. If at any time owner/developer or such successor, assignee or grantee fails to conduct such maintenance of the common areas and facilities, then the Village shall have the right, but not the obligation, to undertake such maintenance and utilize the SSA to provide sufficient funds to pay the costs of the maintenance of the common areas and facilities undertaken by the Village. The SSA shall provide for the authority of the Village to levy up to twenty cents (\$0.20) per \$100.00 of assessed valuation ("Rate Cap") to fund the payment of the aforesaid costs and expenses. Notwithstanding the foregoing, the Special Tax shall not be levied hereunder, and the SSA shall be "dormant", and shall take effect only if the Village finds that Owner, or its successors, assignees or grantees have failed to conduct the maintenance of such common areas and facilities.
- (xiii) A maintenance easement ("Common Facilities Maintenance Easement") shall be established over all of those common areas and facilities depicted on the PUD Plan in favor of the Village, provided nothing herein shall be construed to obligate or require the Village to provide any maintenance of or for said common areas and facilities. The substance of the Common Facilities Maintenance Easement shall be as approved by legal counsel for the Village and owner/developer, which approvals shall not be unreasonably withheld.

#### Section 5

The terms and provisions of the Declaration of Easements, Covenants and Restrictions of Lifestyles of Manteno dated \_\_\_\_\_\_, 2024, are incorporated herein by reference, shall govern the ownership, operation, control and maintenance of the Lifestyles of Manteno planned unit development and shall be enforceable by the Village against the Declarant, Developer, Property Manager, any Resident, and the Townhome Lot Owner, as defined therein, and their successors and assigns. No amendment or change to said Declaration of Easements, Covenants and Restrictions without written approval of the Village shall be valid, effective or enforceable unless so authorized in the original version.

#### Section 6

The Plan Commission's Recommendation 23-09 is hereby incorporated into this ordinance by reference.

#### Section 7

If any section, paragraph, clause or provision of this ordinance shall be held invalid, the invalidity thereof shall not affect any of the other provisions of this ordinance.

#### **Section 8**

All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed insofar as they conflict herewith.

#### Section 9

This ordinance shall be in full force and effect after its passage and approval as provided by law.

This ordinance was passed and deposited in the office of the Village Clerk of the Village of Manteno this 1<sup>st</sup> day of July, 2024.

AYES:

5

NAYS:

0

ABSTAIN:

DEPOSITED with the Village Clerk

this 1st day of July, 2024.

ROBIN BATKA, Village Clerk

APPROVED by me this 1<sup>st</sup> day of July, 2024.

TIMOTHY O. NUGENT, Village President

# A RESIDENTIAL PLANNED UNIT DEVELOPMENT **LIFESTYLES OF MANTENO**

FOR REVIEW JOB NO.: XXX DATE: 07-13-22

MANTENO, IL

# DRAWING INDEX

A0.1 GENERAL NOTES **COVER SHEET & GENERAL NOTES** 

FIRST FLOOR PLAN - 4 UNIT

A4.1 A4.0 REAR ELEVATIONS FRONT ELEVATIONS

SECTIONS AND DETAILS

SECTIONS AND DETAILS

PLUMBING DIAGRAMS AND NOTES

**ELECTRICAL PLAN AND NOTES** 

A0.2 GENERAL NOTES **FOUNDATION PLAN - 4 UNIT** FOUNDATION PLAN - 5 UNIT

A2.0 FIRST FLOOR PLAN - 5 UNIT

A3.1 A3.0 **ROOF PLANS** 

**ALTERNATE ROOF PLANS** 

A4.2 SIDE ELEVATIONS

SECTIONS AND DETAILS

**MECHANICAL PLANS AND NOTES** 

NOTES

АLL READERS АНО СООТПАСТВИЕ АНЕ ПРОМЕНЕ ГЕО ОПЕ КОСКОГО ОТ А НЕДАЛИВНИТЕ АНО ОПЕТЕТИТЕ, АLL MEMORIA DE CONTRACTION AND REPORTED, AND THE ACCOUNT OF REAL AND ALL MEMORIA AND CONTRACTION AND

THE OHNER ANDOR BUILDER OF THIS PLAN RELEASES THE DESIGNER AND ITS EMPLOYEES FROM ANY CLAMS OR LAWSINTS THAT MAY ARSIS DARIOG THE CONDITRUCTION OF THIS STRUCTURE OR ANYTHME THEREAFTER.

FLOOR: 48 LBS LIVE LOAD ROOF: 30 LBS LIVE LOAD 10 LBS DEAD LOAD DESIGN LOADS;

BOX, BEATING CHANGETY - 1000 PRF ARRUNED

IN A COST IN CONTRACT FACOL ALL PALADAGO LIMERTE IN HEF FIN (
FIN A COST

FIN A COST

ALL LYNE FAMIL HE BOOKE CASCLACK LONG FAN ON BETTEN

ALL LYNE FAMIL HE BOOKE CASCLACK LONG FAN ON BETTEN

FIN A COST

FIN A

CITETION WALLS ARE DIMENSORED FROM DUTSILE FACE BRICK TO HIS SEPARATE OF OR WALL FITTS

WALLS ARE \$'4" HIGH LIRLESS OTHERWISE NOTED OR SUPLIED.

AND REALISM OF DITEMPALY (FARMED AND RAIL OF DERIVED SHALL BE.

AND REALISMS AND LOSS SHALL SHE CORE OF THE MET JAIN AND PARTY OF THE CORE OF THE CORE

EXAMPLE THE BUILDING BITE PRIOR TO COMMENCENG WORK

EXAMINE ALL DRAWINGS RELATED TO THIS PROJECT PRIOR TO COMMENCING ANY WORK т видомаловом на орначась, натач з насептес от акт основать, на вывитые де цаманар оне учеств неде воднаваля оне этих реализать, исслочно тив видома вые одначива в на тиркут, те делетест выда, соорист и исследатуте, нама то онит акт соитсеть, сониетеся онеок он он от тие вит или, тие доспесет на ведолеб акт от тик дноме

OWNER BYALL VERSY ALL HAVERNALS, COLOR BLUCTHENS AND HATLINGA PLACEMENTS WITH BURDERS AND CONTRACTORS PRIOR TO THEIR PLACEMENT OR INSTALLATION.

LOCATE ALL CHIUENT OR UTURE UNCCHORDEND AND OPENICAD UNITED, NITERIOR AND EXTERIOR PRIOR TO COMMENCING ANY WORK PROTECT ALL UTURES FROM DANNOR OWNING THE CONSTRUCTION PROCESS.

ALLIAND AS CONTRAINED WITH THE BATTLE THREE THREE WITH THE WITH THE WATHER THREE PARTIES OF CHAPTER TO DETHER, THE BUILD EN AND HIS SUBCONTRACTORS SHALL EXAMNE AND REVIEW THE CONTENTS OF ALL DRAWAYGS SO EACH FULLY UND THETANOS THE RESPONSUBLITIES AND DUTIES OF THE OTHER.

HSTALL ALL MANUFACTURED OR FABRICATED PRODUCTO IN ACCORDANCE WITH THE WRITTEN INSTRUCTIONS AND DIRECTIONS OF THE ANNEACTURER AND FABRICATORS, UNLESS OTHERWISE HOTED.

WIT MOUR SHOTT SELECKEY SOUNDE WHO WINNE

IA CHRINE OUTLETB &HALL DE PROVIDED WITH HOT AND COLD

MURRISOF CONTEX MALOWA RAALL RE OFFICIALE FIRSH THE MODEL OF A FIX CELLAR DEPOSITION FOR THE USE OF A KEY ON TOOL AND HAVE ALL HEIGHT DE HOT MODEL ENA HEY, ALL GEROCHEST CHOISEN MODELOWS TIONE MUST CONTEXT AND AND THE CELLAR ENGHAND OF X.Y DOWNET FEET, THE MEMONIN HET CLEAR DECEMBER ROCHEST SHALL OF J.F. THE MEMONIN HET CLEAR OFFICHAD MEMONING BRAILE DE J.P.

BCRUENS OR OTHER DUSTRUCTIONS PLACED OVER EMERGENCY ESCAPE WIRIDOWS BHALL HE RELEASABLE ON HEMDWANE FINCH THE INSTITUTION THE USE OF A KEY OR TOOL

LETERIEN HANDEN MILLA MALEMENT I DESS WEIDOW BHALL ALLOW MIRDON TO DES HALLY AND THE HORIZONTAL HET D.EAR OPEINO BHALL HE, A MINIMAN DE BOULANE FEET MITH A MINIMALIH HORIZONTAL PROJECTION OF SHINCHES, PETMANENT LUDGETS SHALL BE HETVALED VERTICAL DEPTHER ORIZATER THAN 4.5

4. ENCLOSED ACCESSIBLE SPACE UNDERSTAINS SHALL HAVE WALLS AND SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH A" THEK OTPISIUS BOARD.

BRATE MAXIMAE STAIR ROER REGET STAIL BE 76". MEMBLIN STAIR TREAD BHALL DE 10" MEASURED FROM MOILMO TO NOCIMO () HE WITHOUT MOUND. MANTAN STAIR CONTRUITY AT MAXIMUM OF 16", MERINUM STAIR HEADROOM SHALL EE 6"-9".

MANDEARLY & GRANDS WHOMATE ADDITION TO A MATE TRAFF HAME Y PLACE OF NOT FEET DIVIN 62. RELAKER THE MATE TWO THE HYDROTH

IMADRALLI SHALL HAVE ETTER A CIRCULAR GROSS BEGTON WITH A DAMETER OF 1% TO 2% , edges shall have a manaum radkes of %SUARDRABA ON OPEN RIDES DE REARRWAYS, RAUSED FLOOR AREAR, BALCONEIS AND PORCHES BHALL HAVE INTERMEDIATE RAUS OR ORNAMENT. LOSURES WHICH DO NOT ALLOW PARSIAGE OF AN OBJECT 4" OR MORE IN DAMETER,

AT TO DISTRIBUTE WASHING ON ALL TO DISCUSS WHINNERS IN CITIVLES BY THRIC SYMBON

BHOKE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARM IN THE DWELLING AND SHALL PROVIDE AN ALARM WINCH WILL BE AUDBLE IN ALL SLEEPING ARDAS.

I CARDON NONOXIDE DETECTOR BHALL BE LOCATED WITHIN 10 FEET OF EVERY ROOM USED FOR SILEEPING. HALL BE HARDWIRED WITH BATTERY BACK-UP.

NEXT EXTENDED SHALL RECENT THER PRIMARY POWER FROM THE BUILDING WIRBU AND WHOD PRIMARY POWER IS INTERMITED, BULL EXTENDED FOR THEM A BATTERY, WHING BHALL BE PERMANEST AND WITHOUT A DOSCHINECTING BYTTCH OTHER THAN THOSE REQUIRED FOR VEHICLINE FOR TOTALETIAN.

SMONE DETECTORS ARE TO BE DITERCONNECTED, RECEIVAND PRIMARY FOWER FROM THE BUILDING WIRDIO AND SHALL RECEIVE FOWER FROM THE BATTERY WHEN THE PRIMARY POWER 60URCE IS INTERRUPTED.

FOAM PLASTIS OR FOAM PLASTIC CORKS SHALL HAVE A FLAME-SPREAD INDEX OF NOT MORE THAN 73 AND A SHORE DEXISTY MEASUREMENT OF NOT MORE THAN 450 WHICH TESTED BY THE MAXIMUM THATCHESS HYTERHOLD FOR USE IN ACCORDANCE WITH AGTIL (EA.

WALLAND CELIED FREETES SHALL HAVE A FLANDSFREAD WEEK OF HOT GREATER THAN HIS AND A SHOES DEHOLT WEAL THAN AN WIRTH TEXTED IN ACCORDANCE WITH ACTUE M

ALL EMPRICE WITH AND MAINTENANT, MELLING AFFARMACE, SECHA (MODE) DURBERED OR BESTALES AND ES SECULLES HIMPS IN CORACED LAN ASSENIALES, MODE CELLANA, ASSENIALES, MELLING AFFARMACE SECHA (MODE) DURBERED SECUL OF 20 OK 1655 AND A SHORE DENSITY METALMENTALES OF 444 OR LICES MICE MELLING AFFARMACE METH ACTIVE E.M.

ALL EXPOSED BISULATION MATERIALS BISTALLED ON ATTIC FLOORS SHALL HAVE A CRITICAL RADWAT FLIX HOT LESS THAN 0.12 WATT PER BOLIGHT CENTIVETER WHEN TESTED IN ACCORDANCE WITH ASTAL E 870. OOSE 41, INDIATION MATERIAL WHEN EXAMPLED BY THE ARTHLE A APPROATED WITHOUT A DISELLOR ARTHSOM, REPOST THAT, MAY, A TAMEL SELEM DISELLOR FOR THE TEXT IN WITH AN ACCORDANING SHOKE DESITY MEASUREMENT HOTTO DISELD HO WHEN TENTO IN ACCORDANCE WITH CAMP BREY ZMITE.

CELINOS WITHOUT ATTIC SPACES: THE MINIMUM RECURED INSULATION FOR BUCH RODE/CELINOS BIVALL BE RIDO THIS REDICTION OF HIS ILLATION STALL INSULATED CELINIO AREA, WHICHEVER IS LESS,

MOJSTURE VAPOR RETARDERS VAPOR RETARDEND BIVILL HAVE A MARKIM PERGI RATING OF 18 WHEN TESTED BY THE DESCRIME METHOD IN ACCORDANCE WITH ASTME OF WATER VAPOR TRANSMISSION OF MATERIAL, AND SHALL BE USED ON THE WARM ANY POTEST SORE OF THE THERMAL INSULATION.

PROTECTION AGAINST DEGAY

BUILDOVO TIERMAL ENVELOPE

THE THE THE PRESENT EVALUE OF SHALL RECURRENCE WAS TO CHAPT WITH THAT THE TELL AND DEFROOR RETWEEN THE BILL AN THAT HE FOLLOWING SHALL AS CALLED, DANKETCH, WE'VE THE BILL THAT OF THE PRESENT AND AND AND AND CONTRACTIVE HER COLLOWING SHALL AS CALLED, DANKETCH, WE'VE THE BILL THAT OF THE BILL THA

HOLVILLINGA DAY SIPCIS TANGE TO

SITE-BUILT WINDOWS, DOORS AND SKYLIGHTS CHARMED THE EASTERN HANDOOM WAS COOK WITH REFIELD YOU THIS TANKED WAS LIMINED.

MOPPED CELLINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE

STITEM TIME

SHOTAND AND S

VLDD YCCERTON ON WHICH

RESIDENT AUMETRON

ş WHITHER POSTORIOS SINTO

EXHIBIT A

#### NOTES

### CONCRETE AND FOUNDATIONS

- CONCRETE SHALL DE 3000 PSI (26 DAYS
- N AREAS (UREX "O HAVE EXPANSIVE, COMPARESSIDE, SHIFTING OFFOTHER WHADOWN SOL CHARACTERISTICS THE AUTHORITY HAVING (HREDOCTO) SPALL REGIONER 450E 1158 TO DE TEININE THE SOLIS CHARACTERISTICS AT A PARTICIA, AN LOCATION. THIS DETERMINATION SHALL BE MADE BY AN APPROVED AGENCY USING AN APPRIONZE DMETHOD SUPPLACE DIMANGE BHALL BE DURENTED TO A STOME BEWED CONNEX/MACK OR OTHER POWER OF COLLECTIONS OF TO FOR CHEATER AMAZINE LOST SHALL BE ENDER STOME AND FROM THE STOME
- WHEN DO DESTRICTED SAFETHMENT COMPRESSILE OR SHETING SUCH STULE BEREICHTO TO A DEFIN AND WOTH SUFFICIENT TO ASSURE KIARE LAUGSTUPEE CONTENTIA EXCHACINE ZONE AND SINLL NOT ZE USED AS TILL OIL SINBIDEED WITH EXCHACINE ZONE DY CHEI DENVETENACION ARESAITANTION
- ALL WOOD FORMS USED FOR PLACING CONCRETE SHALL BE REMOVED BEFORE A BUILDING IS OCCUPIED ON USED FOR ANY PURPOSE ALL CONSTRUCTION MATERIALS SHALL BE REMOVED BEFORE A BUILDING IS OCCUPIED ON USED FOR ANY PURPOSE.
- ANCHOR BOLTS MUST BE FASTENED TO SILL PLATE WITH N°-DIA ANCHOR BOLTS ENDEDDED 17 IN CONCRETE AT GO" 0 6 12" MINIMUNFRON O AND VIDRILIAN 2 PER PLATE
- THE TIPE MEMBER OF POOLINGS SMALL RE LEVEL, THE BOTTOM SMERVEC OF FOOTINGS SMALL MAYER, A SOOME THE ELECTION OF THE THE MEMBER OF THE HOUSE OF THE MEMBER OF THE MEMBER OF THE THE MEMBER OF THE THE MEMBER OF THE EXTERIOR FOOTHAGS SHALL EXTERIOR ELOW THE FROST LINE UNLESS OTHERWISE PROTECTED ACARIST FROST NELVE AND APPROVED BY THE AUTHORITY HAWHIG-LIRISDICTION EXTERIOR FOOTINGS SHALL HOT BE LESS THAN 42" DELOW GRADE
- CANAEL OR CRUSHOD STORE IRAMIS SMALE SLEND AT LEAST 17" METOND THE DOLTED EDGE OF THE FOOTHOUND IT ADOVE THE TOPOP THE FOOTHOUND AND IZ ADOVE THE TOPOP THE FOOTHOUND AND IZ ADOVED WITH ALL PROVED FILTER MEDIZIANSE MATERIAL. THE DRAMS SMALL DISCHARGE BY GRANTY OR MECHANICAL MEDIZIAN INTO AN APPROVED DRAMAGE SYSTEM
- THE CODE OF MAJENTS OF EMAN THES MALL SE PRODUCTIONNIN STUPLOS PULLANDS PASES, AND THE DRAWGET IS SOOT REPORTED PROPRIED THE SOUT OF MAJENDAMENT OF THE MAJENDAMENT OF THE MAJENDAMENT OF MAJENDAMENT OF THE MAJ
- HE TOP OF THE FOOTING TO THE FINISHED
- IN AREAS WINDER AND HAVER THAT CARDINES SERVER SOLVMETE CONCRIDEN ARE HOWN TO CONCRETE CHARACTERISTICS SHALL THE CONTROL OF THE CONTROL OF THE REMEDIO CHARACTERISTICS FOR THE CHARACTERISTICS FOR THE CHARACTERISTICS FOR THE CONTROL OF THE CONTROL OF THE REMEDIO CHARACTERISTICS FOR THE CHARACTERISTICS FOR THE CONTROL OF THE CONTROL OF THE REMEDIO CHARACTERISTICS FOR THE CONTROL OF THE CONTROL OF THE CONTROL OF THE CONTROL OF THE REMEDIO CHARACTERISTICS FOR THE CONTROL OF THE CONTROL OF THE REMEDIO CHARACTERISTICS FOR THE CONTROL OF THE CONTROL OF THE REMEDIO CHARACTERISTICS FOR THE REMEDIO CHARACTERISTICS FOR THE CONTROL OF THE CONTROL OF THE REMEDIO CHARACTERISTICS FOR THE CONTROL OF THE CONTRO
- TEEL COLUMNS INITIAL AS AN STAMMED WEIGHT PRE LING, AND SMALL OF RESTRAINED TO PREVENT LATERAL DEPLACABLES AT THE ROTTOM EXID STEEL COLUMNS INITIAL AS COALED WITH REISTMENSTONE PAINT ON TREATED WITH COATROST TO PROVIDE CORROSION RESISTANCE EXCEPT FOIL CORROSION IL CRITICAL TESTER.
- LEASTERY DE BEREISKE LIMBER (SK. 1921) SE MELE BEDESKE BEHL CEMPY HYTI, DOOT RE DE NATI DIT DE FREIZELSE ES HANDES ORDANIS MUSES AND SELLE DE DETETEREN FAMILE BERGEESKE BEHL CEMPY HYTI, DOOT RE DE NATI DIT DETET FAMILES DE NA MAKE OR CESTE ONE SALL TROVOE, DE GIANTE BEGRANDE TO DETENANE ET THE ALLOMANE, STREAS IN BERDING AND E, THE NODINGS DE
- WE AND INCOMPACT IN LINCOMPACT SHAFT BY SHAFT BY SHAFT ALLA LED DIVERSON FOR ENATE BE IDENTIFIED BY THE CONTIN
- ROCKING SHALL BE A HAHADA OF UTUTY CHACE THABEA SUPLOSHIAG SHALL BE A HANAMA OF UTUTY GRACE LHARBE ON NO. 4 EDINION GRADI BOATO).
- TO PERMIT THE INSTALLATION OF PIPMO OR VENTS SMALL BE BOUD BLOCKED, WITH SPACINO NOT MORE THAN
- CHARLY RANGO ROMONOCILE EDITO OVER VECTARIO D'ALCOLL PAYT DE LOCELHEE EL PANNO NOBLE VITTORIO DE LE ORINTH VINOCID CHARLY RANGO ROMONOCILE EDITO OVER VECTARIO D'ALCOLL PAYT DE LEO LOCELHEE EL PANNO NOBLE VITTORIO DE LA VITTORIO POLICIA DE LA VITTORIO DEL VITTORIO DE LA VITTORIO DE LA VITTORIO DEL VITTORIO DE LA VITTORIO DEL THE ENDS OF EACH JOSST, BEAM OR GROSES SHALL HAVE NOT LESS THAN OR BY THE USE OF APPROVED JOINT HANGERS 117" OF BEARING ON WOOD OR METAL, NOT LESS THAN IT ON CONCRETE
- GROSAM AR GITTGLIANS THE TIME PROPRIOSMY IS BUS THE DIM DWWINESSED
- HOLES DRILLED OR RORED IN JOISTS SHALL DE WITHEN Z' OF THE TOP DR BOTTON DE JOISTS. AND THEIR DIAMETER SHALL NOT EXCEED THE DEPTH OF THE JOIST NOTICES IN THE 1790 OR BOTTOMOF LOSTS SMALL NOT EXCESS ONE SOTH THE DEPTH OF THE JOST AND SMALL NOT RE LOCATED IN THE MODILE THERD OF THE SPAN CHATILLERIES JOINTS SMALL NOT BE HOTCHED WHEERS THE REDUCTO SECTION PROPERTIES AND LIMITED DEFICES ARE CONSISTING IN THE RECOME.
- DORTE DICEIDRO A IXIAIMAN, TWO BY TYRELVE INFINES I YNTY SYAL 166 SUPPORTED LATERALLY BY SSLUD IS COZING, DAGONAL GAIDDING DYSDIG GAILETAL, DRA COSHINDUIS ONE BY TIRELE WCH(†"X") STRIP HALED ACROSS THE IDTTOM OF JUSTS PEPPERIODULAT TO JORTS AT INTERNAL HOT EXCEEDING EIDNIT FEET (8)
- PLYMOOD USED FOR STRIVCTURAL PLARPOSES SHALL COMPLY WITH DOC PS 1. DOC PS 2 AND HPMA. (AND HIP MOOD STRUCTURAL PLARPOSES SHALL COMPLY WITH DOC PS 2 AND HPMA. (AND HIP MOOD STRUCTURAL PLARPOSES SHALL COMPLY WITH DOC PS 2 AND HPMA. (AND HIP MOOD STRUCTURAL PLARPOSES SHALL COMPLY WITH DOC PS 2 AND HPMA. (AND HIP MOOD STRUCTURAL PLARPOSES SHALL COMPLY WITH DOC PS 3 AND HPMA. (AND HIP MOOD STRUCTURAL PLARPOSES SHALL COMPLY WITH DOC PS 3 AND HPMA. (AND HIP MOOD STRUCTURAL PARELS SHALL COMPLY WITH DOC PS 3 AND HPMA. (AND HIP MOOD STRUCTURAL PARELS SHALL COMPLY WITH DOC PS 3 AND HPMA. (AND HIP MOOD STRUCTURAL PARELS SHALL COMPLY WITH DOC PS 3 AND HPMA. (AND HIP MOOD STRUCTURAL PARELS SHALL COMPLY WITH DOC PS 3 AND HPMA. (AND HIP MOOD STRUCTURAL PARELS SHALL COMPLY WITH DOC PS 3 AND HPMA. (AND HIP MOOD STRUCTURAL PARELS SHALL COMPLY WITH DOC PS 3 AND HPMA. (AND HIP MOOD STRUCTURAL PARELS SHALL COMPLY WITH DOC PS 3 AND HPMA. (AND HIP MOOD STRUCTURAL PARELS SHALL COMPLY WITH DOC PS 3 AND HPMA. (AND HIP MOOD STRUCTURAL PARELS SHALL COMPLY WITH DOC PS 3 AND HPMA. (AND HIP MOOD STRUCTURAL PARELS SHALL COMPLY WITH DOC PS 3 AND HPMA. (AND HIP MOOD STRUCTURAL PARELS SHALL COMPLY WITH DOC PS 3 AND HPMA. (AND HIP MOOD STRUCTURAL PARELS SHALL COMPLY WITH DOC PS 3 AND HPMA. (AND HIP MOOD STRUCTURAL PARELS SHALL COMPLY WITH DOC PS 3 AND HPMA. (AND HIP MOOD STRUCTURAL PARELS SHALL PA
- THE SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS SHALL NOT BE LEGS THAN 3 000 PSF, EXCEPT WHERE WEATHER EXPOSURE DEDURES GREATER STRENGTH AND ARLENTRAINED CONCRETE
- CENTRAL PRESENTATION OF THE WAY STATE AND THE SAME THAN STATE OF THE SAME SHADOWS AND STATE OF THE SAME SHADOWS.
- HIL MATERIAL SHALL BE FREE OF VEGETATION AND FOREIGN MATERIAL. THE FILL BYALL DE COMPACTED TO PROVIDE UNIFORM SUPPORT OF THE SLAD AND EXCEPT WHERE APPROVED THE FILL DEPTHS SHALL NOT EXCEED 24" FOR CLEAN SAND OR GRAVEL AND OF FOR EVATH
- A "THEM BASE COURSE COURSING OF CLEWN GROUED SAIN GROVEL, CHRUSED STOPE OF CHRUNED BLAST FURMES SLAD PASSING A" SINYS SHALL BE PLACED OF THE REPORTED SHARADE PRISE! THE SLAD IS BELLOW GROUED. AS COURSE IS NOT REQUIRED WHICH THE COURSE ITS AS IS WISTALED ON WELL-DRAINED OR SAND-GRAVEL HATTHEE BOLLS ACCONDING TO THE UNITED SOIL CARSIFICATION SYSTEM ONLINE SOILS.
- VAPOR BARRIER WITH JOINTS LAPPED NOT LESS THAN & SHALL BE PLACED DETWEEN THE FILL AND THE DASE COURSE
- ADDERBANNED KLEKKRON LIMBER FORS TILDE. PATES AND HEADES SHALL COMPA, VERTICIOCE ES 2013, ALIO DOI HER PETICALES TREASHES AND OCHREN KLEKKRON LIMBER FORS TILDE. PATES AND HEADES SHALL COMPA, VERTICIOCE ES 2013, ALIO DOI HER PETICALES TREASHES AND OCHREN KLEKKRON LIMBER FORS TILDE. PATES AND HEADES SHALL COMPA TE SHET SESSION AND ALIO PATES PATES AND ALIO CONTROL TO THE PATES AND ALIO CONTROL THE PATES AND HEADES.
- ALLOW, SPANS FOR STEEL LINTELS SUPPORTING MASONRY VENEER

  127 OF THE LANGE ONE STORY AGOS THE ST

- BUTCH SHALL BE A ARMINING TO CHARGO AND PRINCE AMERICAN THE STATES
- COLLAR TIES SHALL BE GPACED 45" o.c. MIN JUNO
- ELTEROR WALL (TITAS SHALL BE CAPED WHI A DOUBLE TO PELATE BYTALED TO REDOUGE OFER APPIAR A TODARESS AND MERSECTIONS BEARMA PARTITIONS THAT DO ANTIS WITE DATES SHALL BOTHEST AT WHICH THE TOP PLATE MAY BE OMITED OTER LAMELS WHICH ARE ARECUNTERY TED TO ADMACHY WALL SECTIONS WITH STEEL PLATES OR EDWALFIN
- WESH PRIVED OF DICTIVIOUS OF PLACED IN ONE PARTY, IN AN EXTENDINIMALLOR INTERIOR LOAD BEAUNIC WALL, NECESTIATING A CUTTING OF THE TOP PLATE BY MORE THAN 50 PERCENT OF ITS WOTH, THE PLATE SHALL BE REINFORGED WITH 74 JUNE STEEL, ANDLE SPAINHIM THE DISTANCE BETWALK THE ADMICANT STEEL.
- OFTIONER MALE SHALL BE EMADED WITH IN ALE FLY MONCES), OR APPROVED HERE, STRAV DECOCASINSTALLES INCOCCOMMERCENTIN THE MANAFACTURETES SETEMATIONS, OR MOCODEMENTATION, OF MOCODEMENTALLY OF MOTOR SPACED AND RETURNED HAVE BY A FOR FLY HARMACHIAS USED IT SHALL DE LET VICO THETO-BAILD DOTTOUR LATES AND TIES HERMEIMOSTILOS, PLACED AT MOT MOSE THAN WO BEGREES ORLESS THAN DESKREES FROM THE MORROWAN, AND ATTACHED TO THE FRANCHIAS
- WELVEY IS BOTH BELLMONTHY WHEN OF WITCHES
- ALL LIVE'S SHALL BE BOYSE CASCADE VERGLIAM 2 0 3100 OR BETTER

  Fb + 3 080

  E = 2 000,000
- HUMBICANE CUPS
- BOOK SAYIS CALSTIC'T TAKONAN WYCHATH MITTING SWCCHW
- ALL WANDOWS WID SUDING GLASS DOORS SHALL BE INSTALLED IN ACCO OF EXTERIOR WANDOWS DOORS AND SKYLIGHTS WHOOWS AND SLIDING GLASS DOORS SHALL NOT HAVE AN AIR INFILITAATION RATE EKCEEDING 050 CUBIC FEET PER HINDTE PER LINEAL FOOT OF CRACK WHEN TESTED IN ACCORDANCE WITH ASTIN E 273 AT A PRESSURE DIFFERENTAL OF 1 32 PSF 12-01. STANDARD PROCTICE FOR THE INSTALIATION

## CLYMOSO AND REPORTED ACTUSAL PARTIES.

- PIETATS PLYWOOD SHALL COMPLY WITH DOC PS 1\_DOC PS 2 OR HPMA. ISSUED BY AN APPROVED AGENCY
- METAL ELEMENTS SHALL SE STRAKTHT AND FHEE OF ANY DEFECTS WHICH
- INTERIOR WALL COVERIINGS

PRODUCTS SENSITIVE TO ADVERSE WEATHER SHALL HOT BE INSTALLED UNTIL ADEQUATE WEATHER FROI PROVIDED EXTERIOR SHEATHING SHALL BE DRY BEFORE APPLYING THE EXTERIOR MEATHER COVERING

- INTERIOR FINISHES AND MATERIALS BAILL BE TESTED IN ACCORDANCE WITH ASTMES 44 AND SHALL COMPLY WITH THE FLAMESPREAD AND SMOKE-DEMBLY REQUIREMENTS (SEE WALL & CELLONG FINISH)
- GYPSUM WALLBOARD MATERIALS AND ACCESSORIES SHALL COMPLY WITH ASTN C 38, C 476, C 314, C590, C 1002 AND C 1047 ADHESIVES FOR THE INSTALLATION OF GYPSUM WALLBOARD SHALL COMPLY WITH ASTN C 557
- INTERIOR GYPBUNI WALLEDAND SIALL NOT BE INSTALLED WYRENE IT IS EXPOSED TO WEATHER. SUPPORT BRACING AND SIZE AND SPACING OF FASTENERS BYALL COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE CODE. MODO FRANKAI SIPPORTING OPPSIAW WALLDOADD SHALL NOT BE LESS THAN ZX KONINKY. THEORESS IN THE LEAST DIALEKSIDIA GYPSIAWANLD MAY DE APARLDOAT RIGHT ANGLESS OF RAPAULEL 10 TECHNING ERABINES, ALL TEDERS AND DELING OF OPPSIAW WALLDOADD BHALL OCCIGAT ON THE FITAMINO MENDERS, DICEPT THOSE EGGES AND BYOS NYOCH ARE PERPENDICULAR TO THE FIRAMING MENDERS.
- WIN A BALL BE THING GOOM LPENETRATE THE WOOD
- BATHTUB AND SHOWER FLOORS AND WALLS SIALL BE THE PARTY A SHOOP HOT LESS THAN 8-3" ABOVE THE FLOOR
- CENNAC IN E STAN VCEZ SHALL SENS I WORK WILLIAMS AND A THE STREET AND A STREET, AND A STREET, AND A STREET, AND A
- OPERA DOMO DENZO, AS THE BUCK ON INCOME ROADING FOR ADMISSED APPLICATION OF CRAINED THE DRESH HOWERDWISH FORSIS HATERAL EVALL COMPA WORLHAELING ESS. ALL CUT ON EXPOSED ECCES, WILLIAMS THOSE AT WALL HET RECEIONS ESHALL HE JUVAED AS RECOMMENDED OF THE ADMITISTED RES
- ALL WALL BACKER BOARD IN LOCATIONS WITH TUBS AND SHOWERS SHALL DE CEMENT, FIDER-CEMENT, OR CLASS MAT GYPSLIM DACKER IN COMPLANCE WITH ASTAIC IZEA C1223 OR C1178 AND INSTALLED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS
- EXTERIOR WALLS SHALL SE COVERED WITH APPROVED MATERIALS DESCARD AND INSTALLED INSECTS AND TO ENABLE ENVIRONMENTAL CONTROL OF THE INTERIOR SPACES THE ICHOUSE SHEET SOUNDS IS SHEET IN STADISH
- FROR THERIVAL ENVELOPE CONTAINS A CONTINUOUS AIR
- BREAKS ON JOSEPH WHITE ARE BROKEN BEAKERS OF THE STREET OF THE STREET HE STR A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE EXTE BARRIER INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS
- EXTERIOR WALLS ADJACENT TO SHOWERS AND TURS SHALL BE REQUARDED AND THE ARRANGED TO SHOWERS AND THE REPORT OF SHOWERS AND THE SHOW
- ANCHORED MASONRY VENEER SHALL CONFORM TO THE REGI REMERTS OF CHAPTER 12 OF ACT 530, 99/ASCE 5 96/TMS 0:402 95
- VENEER WRE TIES SIWLL WOT DE LEGS IN THICKNESS THAY HO DU S OAGE WAR AND BIWLL INVE A HOOD ENBEDDED IN THE MORTAR JOINT EACH TIE SHYLL BE SENCED HOT MORE THAN 24° 01 HORIZONTALLY AND SIVALL SUPPORT HOT MORE THAI 13 25 SO FT OF WALL AREA MASONRY VENEER SWALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESIS
- APPROVED PAPER SHALL FIRST BE APPL THE BUILDANG PAPER AND THE VENEER
- FLASHING SIVILL DE LOCATED DENEATH THE FUST COURSE OF MASOHRY ADOVE FAILSHED GROUND LEVEL ABOVE THE FOUNDATION WALL, AND AT OTHER POINTS OF SUPPORT, INCLUDING STRUCTURAL FLOORS, BHELF ANGLES AND LUTTELS
- CELL VEHTS SHALL BE PROVIDED IN THE OUTSIDE WYTHE OF MARDETS WALLS AT A MAXIMUM ENGAGINE STORES CHILL WENT ENALL BE LIBORITO.
- ANYWOYD CORROGORY HE TSIAM IT LALINGS THALL OF MONERCY ON TO PING STEEL OF ALL INTERIOR PRODUCES OF CORROCTIVE CONTROL OF THE CONTROL OF THE

# ROOF-CEILING CONSTRUCTION

- LOUI ILLAND AUDIENNY HABITRY NO PATTERA AND CERHOLONIS SHALL CLOREY, VINTH DOCK PRE PAR AN AND TO CHEET PRAGAELE ENANGING COLONIA AUDIENCE MAN AND TO CHEET PRAGAELE ENANGING COLONIA AUDIENCE AUDIENCE PRAGAELE ENANGING COLONIA AUDIENCE PRAGAELE ENANGING COLONIA AUDIENCE PRAGAELE ENANGING COLONIA AUDIENCE PRAGAELE ENANGING COLONIA AUDIENCE PRAGAELE PRAGA
- NAPTER SHALLER MULED TO CELMAL JOISTS TO FORM A COMPINAÇÃO HE RETYRESHEXTERIOR WALLS WESTE JOSTS ME FAMALEL TO THE RRATTES WESTE BY PARALLEL RATTERS SHALL DE TIED WITH A RAFTER TIE, LOCATED AS MEAN THE RATE AS PRACTICAL RAFTER TIES SHALL SPACED NOT MORE THAN 27 oc

- THE END B OF EACH MAFTER OR CEILING LOIST SHALL HAVE NOT LESS THAN 13," OF BEARING ON WOOD OR METAL
- AND THEIR DIAMETER SHALL NOT EXCEED ON
- ALL PLYMODD, WHEN DESIGNED TO BE EXPOSED IN OUTDOOR APPLICATIONS, SUALL BE OF AN EXTERNOR TYPE PLYMODD ON WOOD STRUCTURAL PARELROOF SHEATHING SUE, IDENTIFIED AS EXPOSURE I MOOD STRUCTURAL USE PAVELS CONFORMING TO DOC P3 2 INCLUDES PERFORMANCE RATED BLYMOOD, DRIENTED STRANDBOARD AND COMPOSITE PAVELS CRIENTED STRANDBOARD STRUCTURAL, USE PANELS MANUFACTURED IN CAMADA SHALL CONFORM TO CSA 0177

- THE HEAVY WHEN THE HEAVE THE HEAVY SHANDS SHAND STATES THE THE HEAVY WASHINGS THE
- ASPIRALT SHANGLES SHALL HAVE SELF-SEAL STRIP AND COMPLY WITH ASTM D 225 OR ASTM D 3402

UNDERLANDENT SHALL COMPLY WITH ASSEM D 224. TYPE LON ASSAUD 4819. PYPE 1

- INSTALL 18" WIDE ICE BARRIER MEMBRANE AT ROOF EAVES & CENTER 35" WIDE ICE BARRIER MEMBRANE IN ROOF VALLEYS.
- ELISHING AGAINST A VERTICAL SIDEWALL BUILL OF BY THE ETTEM LAHARD WITHOUT WAS CONTAINED, WITH THE LATEST EDITION OF THE NICA MANUAL
- NIP AND RIDGE SHINGLES SHALL RE FASTENED ADCORDING TO THE MANUFACTUREN'S PRINT OD HISTITUCTIONS AND THE LATEST EDITION OF THE NIRCA MANUAL. HIP AND RIDGE WEATHER EXPOSURE SHALL HOT EXCEED THAT PERMITTED FOR THE RELD OF THE ROOF
- CHAINEYS SVALL BE PROVIDED WITH CRICHETS. THE INTERSECTION OF THE CRICKET AND THE CHIMMEYSHALL BE FLASHED AND COUNTERFU THE SUME MANKET AS NORMAL ROOF CHIMIEY WITERSECTIONS AND IN ACCORDANCE WITH THE LATEST EDITION OF THE INCA MANUAL
- BELLEN YON THAN LYMPT SHATT BE CONTRIBUTION OF LINK & CALLANT TWO LINE LYMPS
- FACTORY-BUILT OR MASONRY FIREPLACES SHALL BE EQUIPPED WITH AN EXTERIOR AIR SUPPLY TO ASSURE PROPER FUEL COMBUSTION

- PHERIZOCANIA SHAL IEE PROVINCED TO CHT OFFALL CONFEALED IDHAFT OPEHVASA (BOTH VERTICAL AND HISIZOFIKA) AND TO TODIH AN EFFECTIVE FIRE ILARIELEE BETNERS OFFOREIS, AND IERTINEEN A TOP STORY AND THE ROOF SPACE FURBILOCHAS SHALL BE PROVINCED IN WACDS FRAME CONSTRUCTION IN THE FOLLOWING LICCHTOMS.
- 1.A.A. VERTICALLY AT THE CELLING AND FLOOR LEVELS
  1.A.B. HORIZONTALLY AT INTERVALS AND FLOOR LEVELS
- I SPACES AND PARALLEL ROWS OF STURES OR STAGGERED STUDS
- AT OPENINCIS AROUND VEHTS: FIPES, DUCTS, CADLES AND WIRES AT CEILING AND FLOOR LEVEL WITH FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION

RAYTERS SHALL DE FRAMED TO RIOGE BOARD. RIDGE 190ARD SHALL BEAT LEAST 2" NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT OF THE RAYTER.

AT ALL VALLEYS AND HIPS THERE SHALL BE A VALLEY OR MP RAFTER NOT LESS TIMM IT MOMINAL THYCKNESS AND NOT LESS IN DETTY THAN THE OUT END OF THE RAFTER

ENDS OF CREATE JOSTESSALL SELVAPORA MISSIAN DE 2. BUTTES OVER SEJASSO PARTITIONS ON SUJA, 240 TO DANLES TO THE SIJAS

NOTCHING AT THE ENDS OF THE RAFTER OR CELLING JOISTS SHALL NOT EXCEED OHE FOURTH THE DEPTH NOTCHES IN THE TOP OR BOTTOM OF THE JOISTS SHALL NOT EXCEED ONE GITTH THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE DRE-THISD OF THE SPAN

HOLES SORED IN RAFTERS OR CEILING JOISTS SHALL NOT BE WITHIN 2  $^{\circ}$  OF THE YOP AND BOTTOM THE DEPTH OF THE MEMBER.

1 01-13-22 FOR SEVIEW NO. CKD. DATE

PLIVINOOD AND MOOD STRUCTURAL PANELS SHALL COMFORM TO DOC PS 1 CK DOC PS 1 MID HALL BLOWNING DIFFERENCE OF HISPECTION ISSUED BY ALL APPROVED AGENCY

A HIMMUM OF 1' SPACE SHALL DE PROVIDED BETYREEN THE INSULATION AND THE ROOF SHEATHING AT THE LOCATION OF EAVE OR CORNINGE VEHTS THE TOTAL REF PREE VENTHAMER AREA (BULL NOT BELESS THAN 1"O MOD THE AREA OF THE SPORE VEHETIALED BETT HAN THE TOTAL AREA NE PREMIETE OTHER REDUCED OF 10 TO AD OR PROMISED AT LESS MY BECENT ARMON TO MEET PRIME PREMIETE OTHER REQUERTO VERHINDE AVEIN BEROADED BY MARTILATED MOCHES HIT HE MERSH PROPRIONED THE ERACE TO BE CREMINED AN LESS I 3"OR ADVICE FOR EXCURING WHICH PROPRIED AND THE MET A THORSE OF THE PROPRIED AND THE MET AND THE MET

ASPAULT SHRIGLES SHALL BE APPLIED ONLY TO SOLIDLY SHEATHED ROOFS ASPAULT SHRIGLES SHALL BE INSTALLED ACCOMMING MOTES AVAILED FOR A LANGO STREET OF THE STANKED WILL OF THE OWNER OF THE OWNER STREET, WHEN THE STREET, WHEN STREET,

FLASINICS ACAVIST VERTICAL FROM WALL AS WELL AS SOIL BTACK, VENT PIPE AND CHIMMEY FLASINIC, SHALL BE APPLIED ACCORDING TO ASPINC. SHIWLE MANAFACTURER'S PRINTED INSTRUCTIONS AND THE REQUIREMENTS OF THE LATEST EDITION OF THE MIGRA MANUAL.

CHANNEYS AND FIREPLACES

MASONAY OVER A FIREPLACE OPENING SHALL BE SUPPORTED BY A LINTEL OF HOXICOARUSTIBLE MATERIAL THE MINIMUN REQUING A CAPTER PLACE OPENING SHALL BE 51 ENCLOSES BOTH CHANNELS INVOLVED AND THOUGH THE HOLD SHOW IN AND THE HANDLE CLASSICS MEETS

SIJALL EXTEND AT LEAST 20" IN FRONT OF, AND AT LEAST 20" DEVOND EACH SIDE OF THE FIREPLACE OPERING

PERSONAL PROPERTY OF THE STATE STATE STATE STATE AND STATE OF THE STAT

RENFORCING STEEL FOR CONDUMNS ENVIL DOWNLY WITH ASTMAND, CANGE B

HEORETATIO DIRECTS RETWEENSTAIN STRINGERS AT THE TEP AND ROTTOWER THE REW ENCLOSED SPIZES DIRECTS TRUST SPILL COMPAN WITH EXCENDINGS IS 22

LE FOR THE FIREBLOCKING OF CHILINEYS AND FIREPLACES, 62E SECTION R1000 19

CLUFFCSED W

A0.1

×××

**GENERAL NOTES** 

LIFESTYLES OF MANTENO

Curwick

GENERAL NOTES

LIFESTYLES OF MANTENO

MANTENO

DATE

DATE

OPATE

OPATE

GENERAL NOTES

LIFESTYLES OF MANTENO

AND LIFESTYLES OF MANTENO

DATE

OPATE

PRPL/MGR:

A0.2

CUFFORD W. DAVIS 601-216876

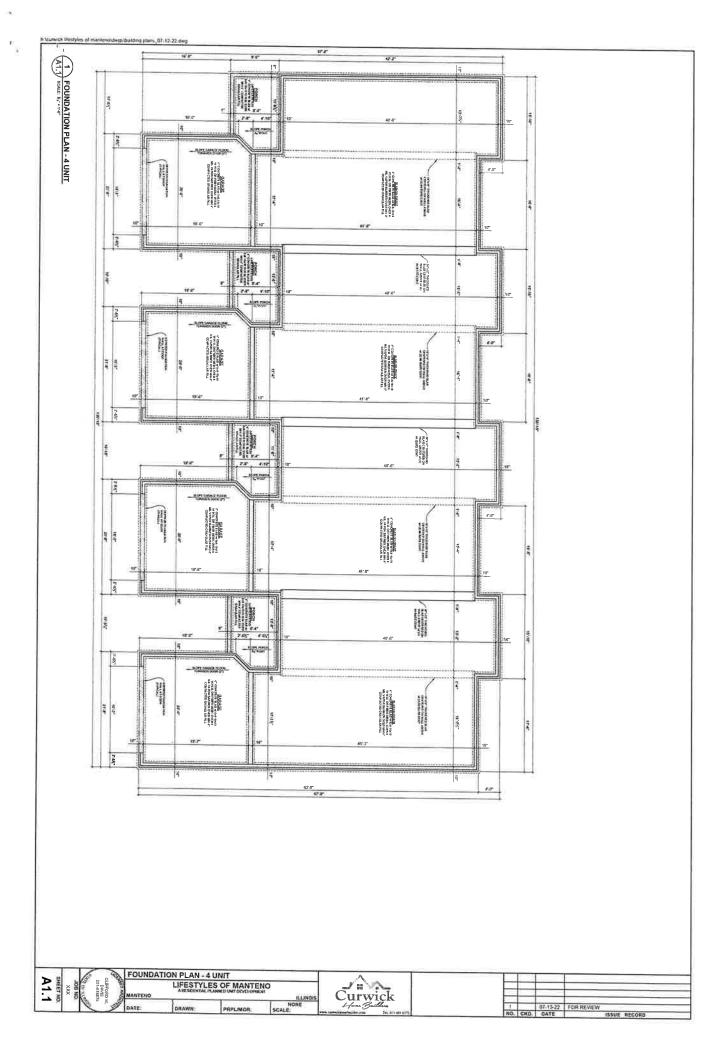
	FASTENER SCHEDULE FOR STRUCTURAL MEMBERS TABLE R602,3(1)	RUCTURAL MEMBERS TABLE R	602,3(1)	FASTENER SCHEE	FASTENER SCHEDULE FOR STRUCTURAL MEMBERS TABLE R602,3(1)	€ R602,3(1)		ALTER	ALTERNATE ATTACHMENTS TABLE R602 3(2)	
	DESCRIPTION OF BINLDING ELEMENTS	NUMBER AND TYPE OF FASTENERS				8PACe(0	O OF FASTEMERS			8PACING OF FASTERER
Property of the Control   Property of the	Joint to all or girder, the nail	Units Distribut	ø	DESCRIPTION OF BURLDING MATERIALS	CENCEPTION OF FAITCHERS	/cocal spora		NOMINAL MATERIAL TINCK HEBS (NICHES)	DESCRIPTION OF FASTEMER AND LENGTH	
	i's 6' subfloor or less to each john, face and	Little Little	E)	Wood structural passes, and free.	rief and well absolute the State of the Section of	of all and printing		Wood structural panets, subfloor,	oof and wall shorthing to framing, and particle board w	
Hander Form	ar subfloor to jobil or girder, blind and face ness	3+64 D-12*s 1037	1	BAN - 977	8d common (2" a 0.113") said (aubitoor, wall)	•	4		Sign 15gs, 159	
Part	Bote piace to joint or blocking, fera nail	180 (3-177 ± 0,135-)	9.	**************************************	Po common audi (2.172" a 0.131")		9	ab est	States state 5.04	
Management   Man	Top or so in plate to stud, and next	Little 1 - And Doing			Indication (3" a 0.145") nation	ŀ	3		C. C	
Principal Principal   Principal P	filed to sole plate, toe next	Tanta a traction		Total Children	80 (2,12" a £131") deformed nati		12	N pue 20/401	2 - 45 to part 1 400 c	
		Contractor Contractor			Other wall a heathing				Continue I	
	Clauble Middly, fig. 9 sell	MAD CANE)	35.07	12" atructural cellulosic (Derboard sheathing	92" gate inited roofing said 8d common			2	South title 124	1
Property (No. 1996)	Double top plate, lace nell	### T # 0.125 }	24"04.		(AVIZ BUSH) has supers ga, 1-7/2 long	,		C 000000	8.557 - 8.000 Maio 5.144	
	Bols plate to joint or blocking at braced was pennin	Little and point	19.44	\$5937 structural cellulosit fiberboard sheathing	(3-1/2" x 0,131") sally stappe to grant and a common	4			Stadie 16 ga 7	
					1-1/2" gaiventrad roofing nett;				all and and a	
Part	Direction to principle, regimenting the sects settings of seed proving four model to be paper.	Cari W. truth polis		1/7" pypeum sheathing"	8d common (2" # 0,131") mil; ataple galventrad 1-112" long: 1-114" acrews, Type W or 8			5	State of Sec. 2-19	-
	Bjocking between joints or reflect to top plate, toe nati	CELLO X DIVERDOC	,	Gill" gyps um sheathing"	1-3/4" galvantred rooting na8; 8d common (2-1/2" = 0.131") past; stapse gate antrod	Ī	•		201-2 1974 CARD - 240'O	•
	Rim Joint to top plate, toe rud	Cassin Lander	792		1-5/8" long: 1-5/8" screws, Type W or 8	r		NONWAL MATERIAL THICKNESS (PICTES)	DESCRIPTION* OF FASTERER AND LENGTH	SPACING OF FASTENCE
Middle   M	Top plates, laps at corners and town settlons. face past	1.10d (1 a.o. 12117)	1	Wood structure	red panois, combination subfloor underlayment to Iramin	ě			(action)	
Selection   Control (1977   Cold (1977   C	build-up fluinder, two places with 1/3" space:	1,5170* 204944	15" o.c. along each edge	314" and last	Dan (Light or Arter) to manner pa		ę	Floor	nderbyment, pływood-hardboard particleboard	
Add District Colors	Continued injuder, two places	111317 135)	16" oz siong sach edge	107 - 4	dd common (2.5/2" x 0.53/1") nall or Bd deformed (2.6/2" x 0.53/1") nall	•./	u		Plymood	
### (Add Deve (ADP)  ### (ADP)  ##	Coming Jumps to play, the said	City of Decident	1		10d common (3° = 0.1467 nall or		200	State Selection	12-472 gs (0.0997) shank diameter	
Prof.   Factor   Prof.   Pro	Continuous basdor lo sliid, toe naid	CHIEF ZIVIDES			84 deferrard (2-1/2" x 0.1207) nell		ē		Black Stigs , FA, 576 (repair seld)	
244 (1977 x 1917)  244 (1977 x 1	Colling Joint lape over partitions, face stall	Legi B. at post		For Dr. 1 halfs and among these Mild may be the part hand a different and among the common, but no defended absolute	PERSONAL TRANSPORTER AND AND ASSESSMENT A	and been a full state of a	A	11/32, 3%, 13/32, 1/2 and (9/3)	13-172 gs. (0.099°) shank diameter	
240 (3 (27 + 0 (37))  344 (3 (27 + 0 (37))	Celling John to pare Heirahare, tice nobl	Capita . Chapit	T	Design the court part and the court of the c	I D f of both or beautiful Class (Class commence and p 20 and for	hash Character (arger)	than 2 142 begin had need	84, 2012 and 5	12-17 gs. (0.99°) a hank diameter	
### ### ##############################	father to plate, foe mult	2/10/2 (3:1/27 = 0 1357)		C. Marin adult be special at any more than 8 inches are quite	at all suggests where space are 48 inches or greater.				States 19 day, 1-102	-
This price of the		CHILD'S ZHIPPE		The against hading have wind appeared at 110 miles and 110 miles	THE PARTY OF THE P				Hardboard*	
2 40 (1577 × 1197)  2 4 (1577 × 1197)  3 4 (1577 × 1197)  3 4 (1577 × 1197)  4 4 (1577 × 1197)  4 4 (1577 × 1197)  4 4 (1577 × 1197)  4 4 (1577 × 1197)  4 4 (1577 × 1197)  5 4 (1577 × 1197)  5 4 (1577 × 1197)  5 4 (1577 × 1197)  5 5 (1577 × 1197)  5 5 (1577 × 1197)  5 6 (1577 × 1197)  5 6 (1577 × 1197)  5 7 6 (1577 × 1197)  5 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	I" blace to each stud and pixts, face na H	2 staples, 5 374"	1400	The migrature making bears and a post of a 10 miles of parties and the parties of	er. To delign and (2-12) a 1-12) walk shall be seen in a little of the seen in a 1-12 and t	Telegraphy and period	and after the page.		1-172 long ring-grooved uederbyment neb	
Series of the transport of the Control of the Con	"" of a healthing to each bearing, face next	2-lid (2-1/2" = 0 113")	11	inches an tanito. When heat's wind speed to granter then	the right, with the year though panel right absorbing to both	The district and open shall	The space of history on	0.200000	Staple 18 gs., 7/8 long (plastic conted)	
March State	T v 8" shouthing to each booking, face neal	Litter Deliver	Ell	Specing of features on SuperAssacting paint edges applied by the Committee of the Committee	ive to paint edges supported by favoring manifests and a support to pend edges supported by finering manifests	and medical backets and at	tall floor parimeters		Pagglaboard	
Height (ALET)  Height	digible of a grant shoulding to each basing, face set	3 44 (3 47 + 4, 1137)	ra:	or and d blocking	CANAL AL DESCRIPTION OF SECURITY SECURITY OF SECURITY SEC	revisions of the sade.	Thorpadirecter shall be	=	Stocks til ga "Till long, 2018 seems	
Help (4)(27) by the State State of State S	PR-up comera luda	104 (5" 4 0.120")	74° H					3	English of the State Land Community of the Community of t	
Interpretation of authorized to the forest and authorized to the forest	ff up girden and heavy, 2-inch jumber (aver	1007-0000	Nationen Liyer at Josephie 32 oc. al					***	Bed diving price and anniarity made in the	
4 + Intel party a substitution of the substitu	The state of the s	Contract of the	male stands and at sach space.					AND DOD NOT	Staple 10 go. 1-05 hang 38 propert	
1 160 (1971-187) 244(197-187) 244(197-187)	plants	CHAIR CHEEN	A I such bearing					a. NAN is a contest dead following may be T-band, maddled	round hand or much hand	
Profit Card	of saffure to delph, wellup or hip rathers; the publicities next	**************************************	1.1					b. Doyles that have a management or and suit in 77th dark part.  A real art alighes when the agreed at rect some man it notes.	and the second section of the section of	greater, Halls, ox staples at all be epoced
PRODUCT GIRTY	the first to referen, drop mail	USHING DECIMAL	E					of factories and baying of a speak polices throughout the	and the penalt	
OOD STRUCTURAL PANEL WALL SHEATHING TABLE ROOZ 3(3)  FAACE NOWAL THOOMES IN AN SHARP	ਸ਼ਿਕਾ de to ristier, feca num or t-1/ਵਾਂ ਤ ਹੋਰੇ gaga ridge ਵਧਾਸ਼ਨ	Cutt 0 c) 1001-5						TO PERSONAL PROPERTY AND PROPERTY OF THE PERSONS IN		
PANEL INCHINAL PRODUCTS HAN SHOW THE STATE SHOW THE SHOW THE SHOW THE STATE SHOW THE STATE SHOW THE SHOW THE SHOW THE SHOW THE								WOOD STRUCTUR	AL PANEL WALL SHEATHING TABLE RE	023(3)
The T									WET NORMAT DECOMES (MAY)	MAXIMUM BYTCH BYTC
								THE SEE NO. LOUIS LAND.		

FOUNDATION PLAN - 5 UNIT - NOTE GARAGE TERM 4.0" THE WAS DELETIONS OF THE WAS DE All straight and 16:07 DO POST NAME OF THE PARTY OND THE PARTY OF T Canada Constant TALENDA OF THE PROPERTY OF THE CONTRACTOR STATE AND A 1 4 HAT SACET THE MAN HAT WAS A SA 1894 Contract to the state of the st 16.00 Mis privated Constitution of C er CHARLES CONTRACTOR A THE PARTY CONT. IN CO. LANS. 1 10 100 00 CONTRACTOR AND ADDRESS OF THE PARTY AND ADDRES 274 17.47 FOUNDATION PLAN - 5 UNIT

LIFESTYLES OF MANTENO
ARESENBLIPLANCOUNT DEVLOPMENT A1.0 CLIFFORD W. DAVIS 001-018875 Curwick 1 07-13-22 FOR REVIEW NO. CKD. DATE

ISSUE RECORD

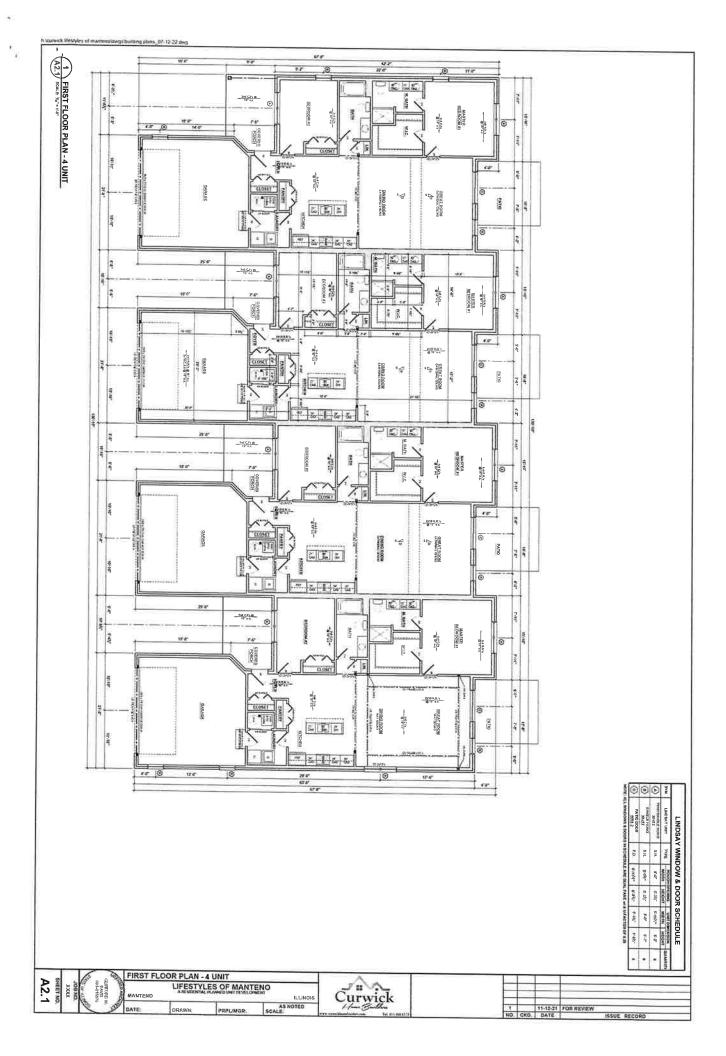
 $\tilde{G}=\mathbf{r}_{i}$ 

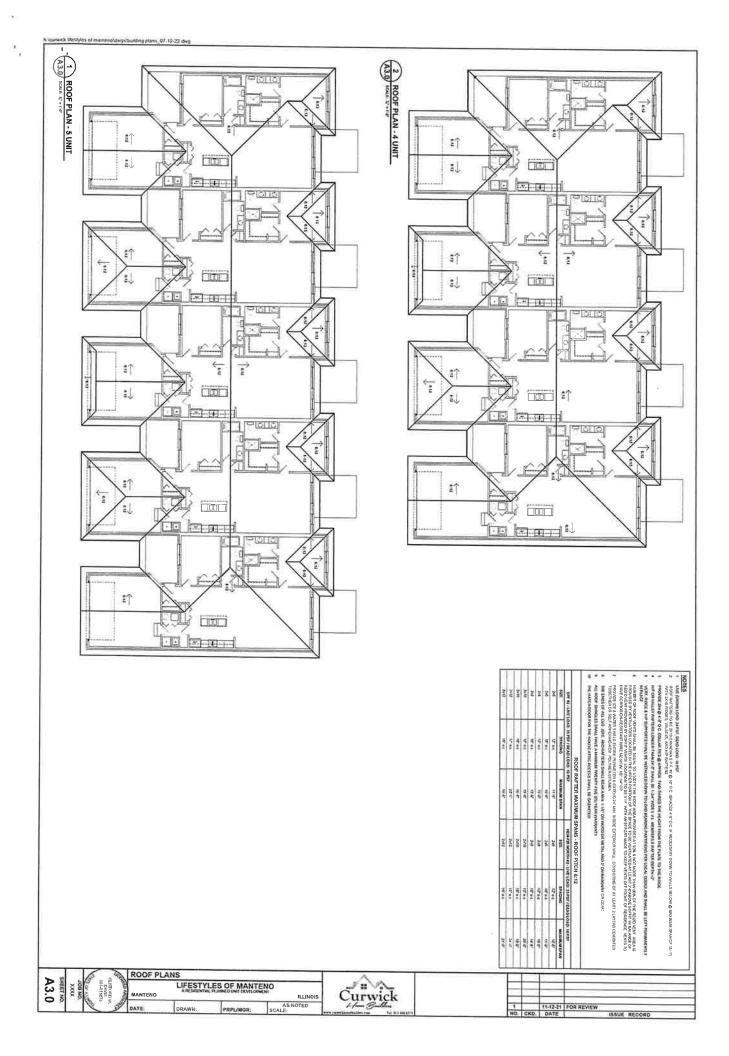


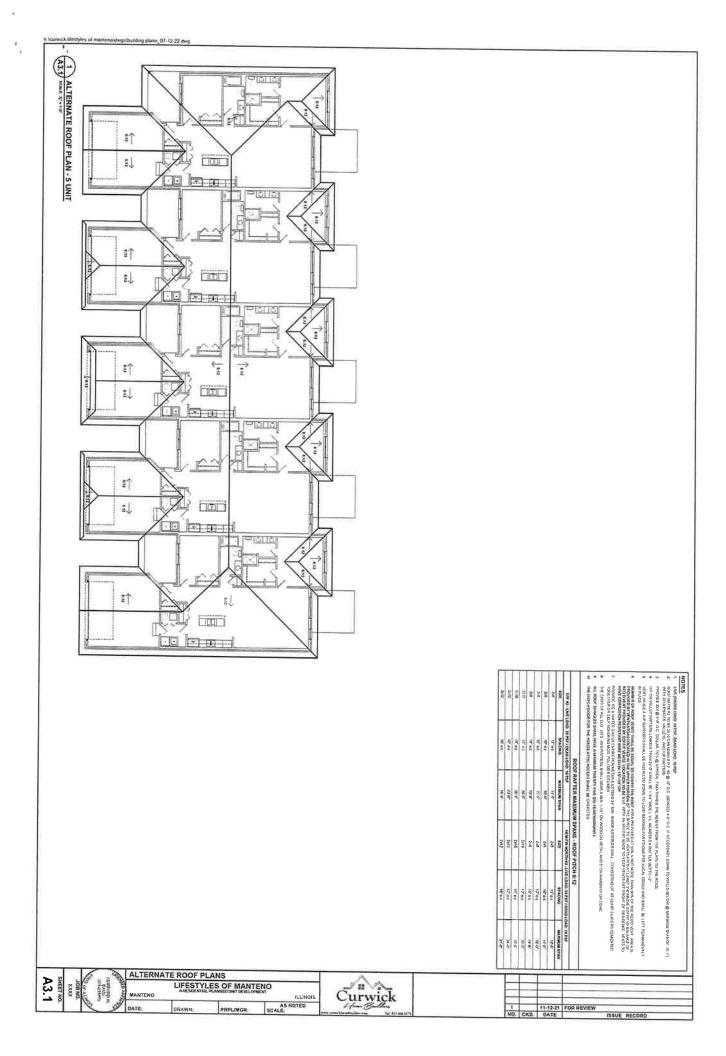
AZ.0 SEAT NOTICE PLAN - 5 UNIT TE HE 1.00 -Micha-Hill oz. ō 45 QARA DE KILIFEN KILIFEN '∰ SALVA \* & I & & 2xLCf+ B MASTER BEDROOM #1 BW or MARKY GIV-so GREAT ROOM DEMMI ROOM 1 PATIO \_PEGNE\_ ..... ō er Sund's CARAGE ٢-PATRO \* & Esta 2650 AND BY 0 PORCH er MMRR'S BTV S.C. B II oz S.E. PATIO - LUSA 0 7 5 45 200.0 0 LINDSAY WINDOW & DOOR SCHEDULE PH CAN PATIO es |© FIRST FLOOR PLAN - 5 UNIT

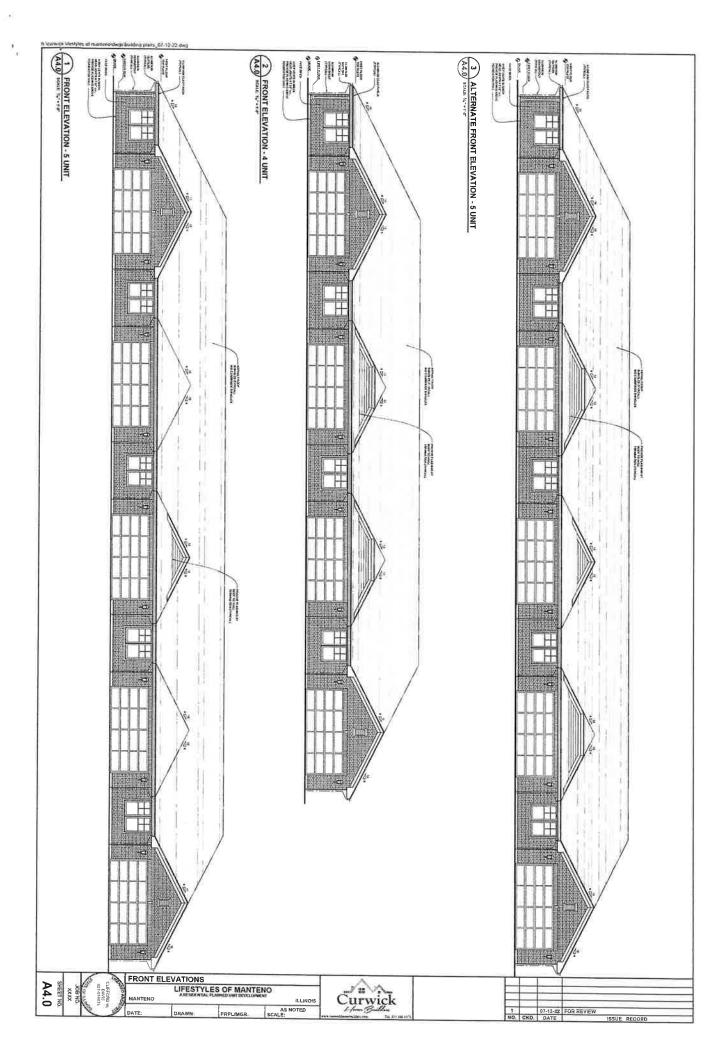
LIFESTYLES OF MANTENO
ARE SERVING PLANE DI MET DI MATORINI SHEET NO.
A2.0 Curwick 1 11-12-21 FOR REVIEW NO. CKD. DATE

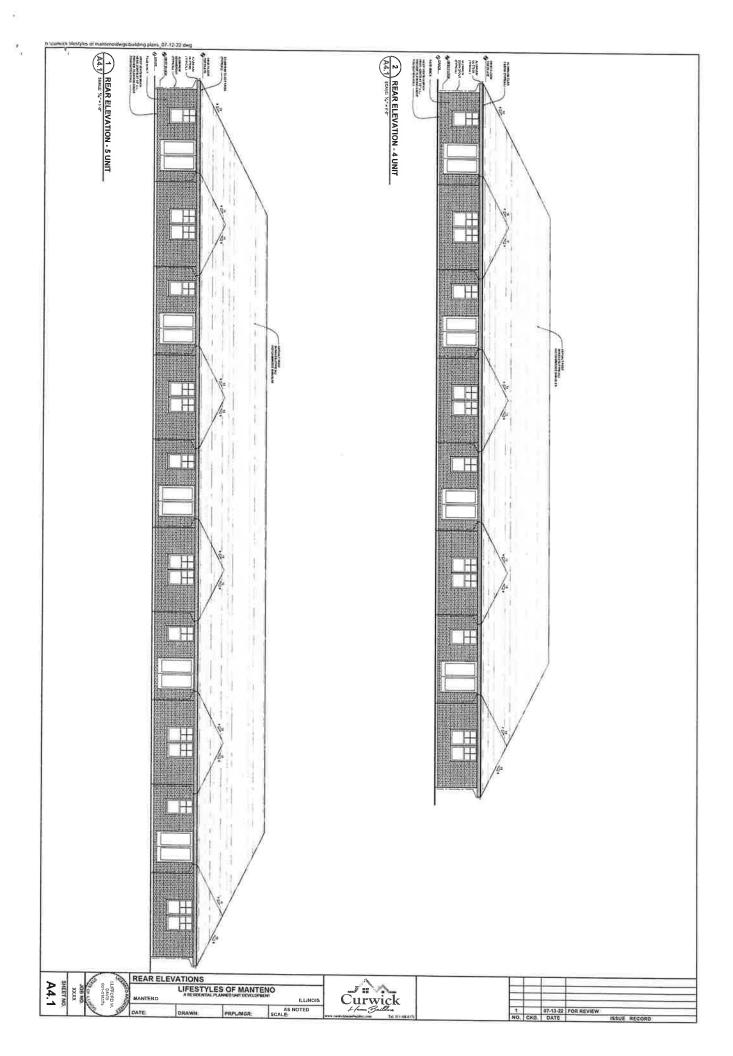
----

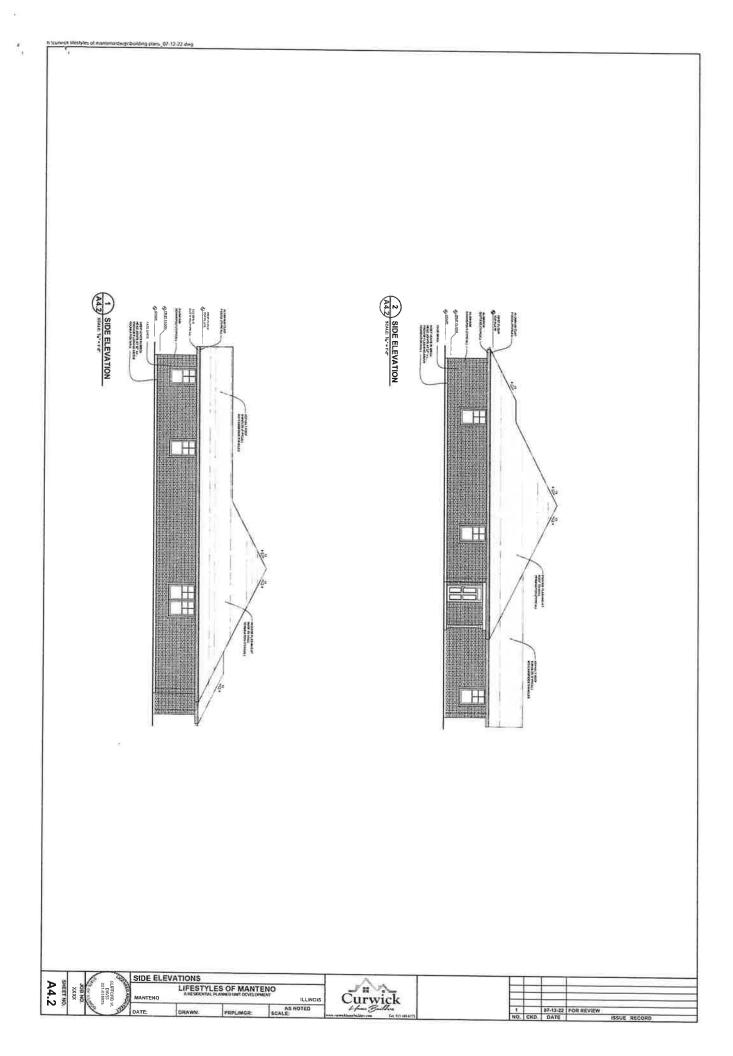


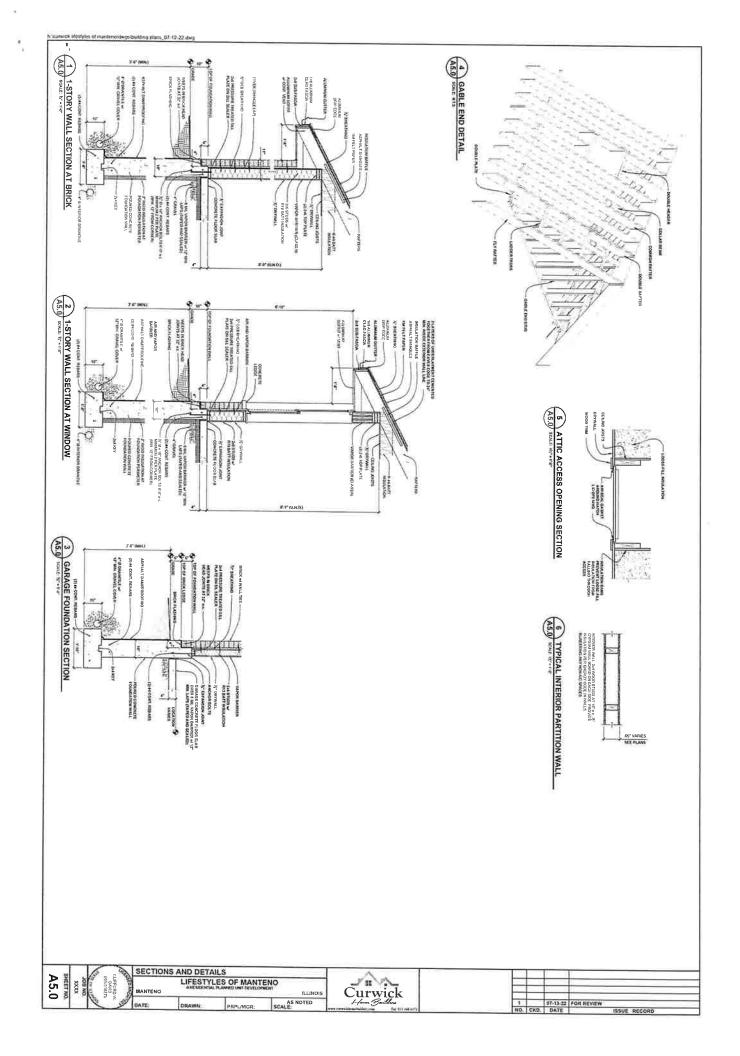


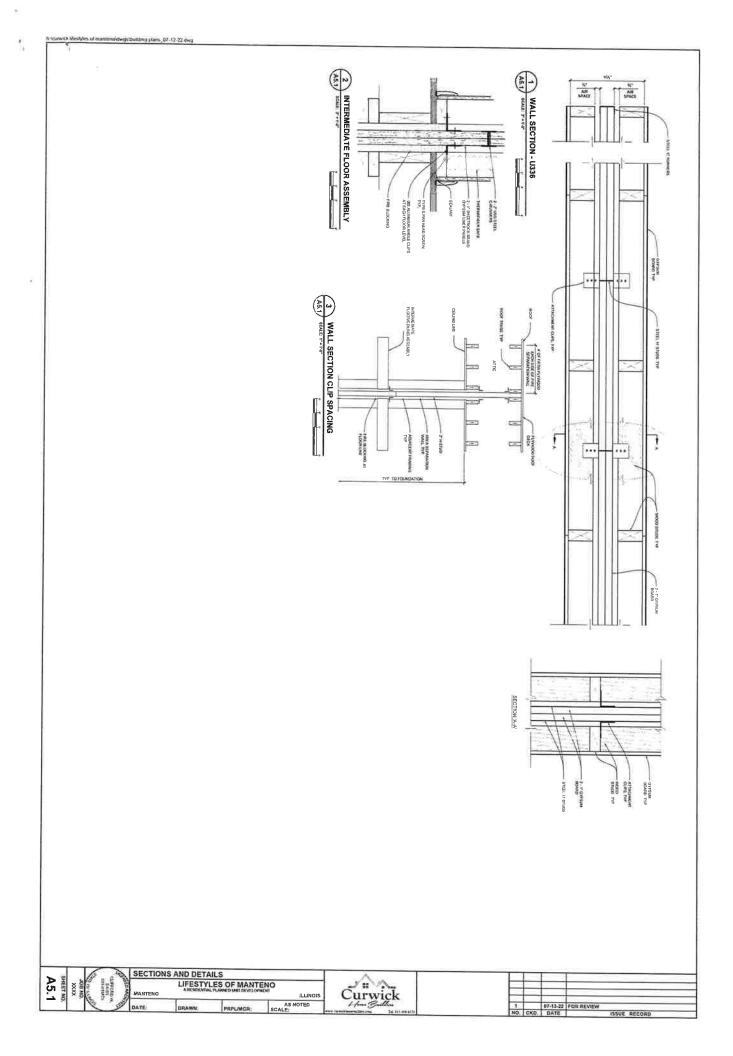


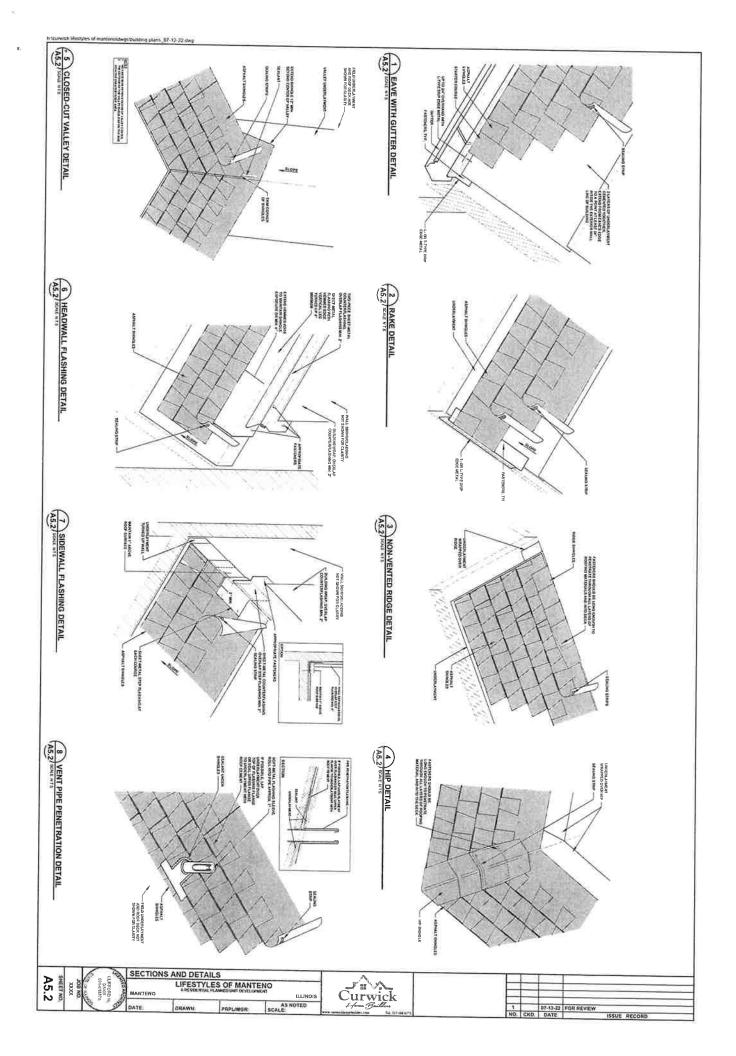


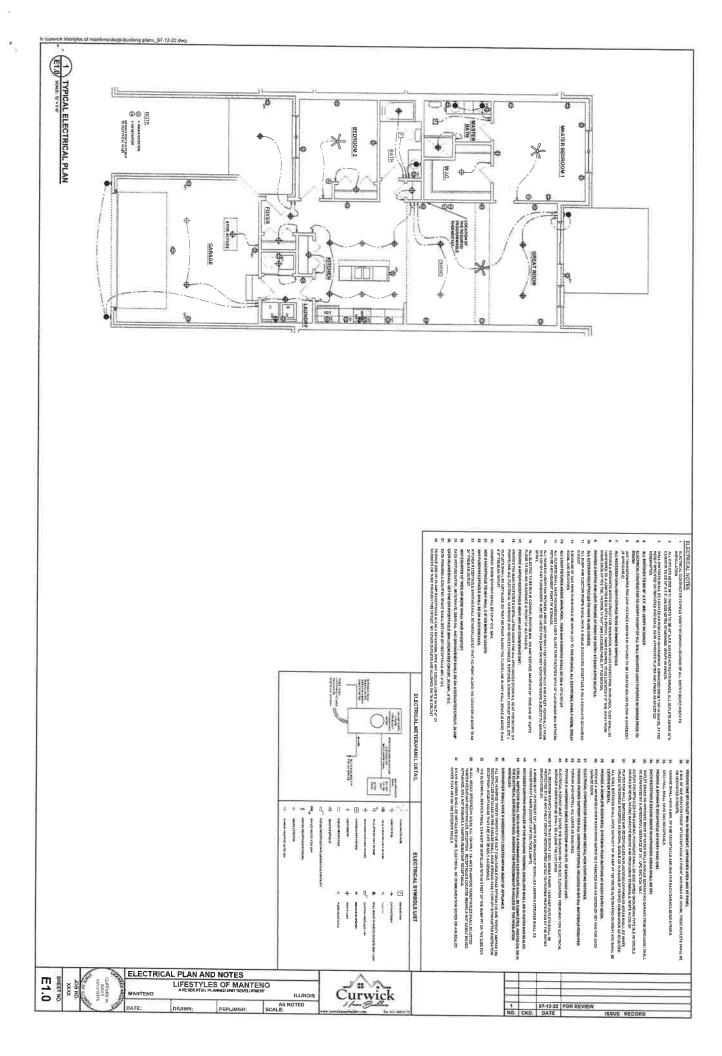


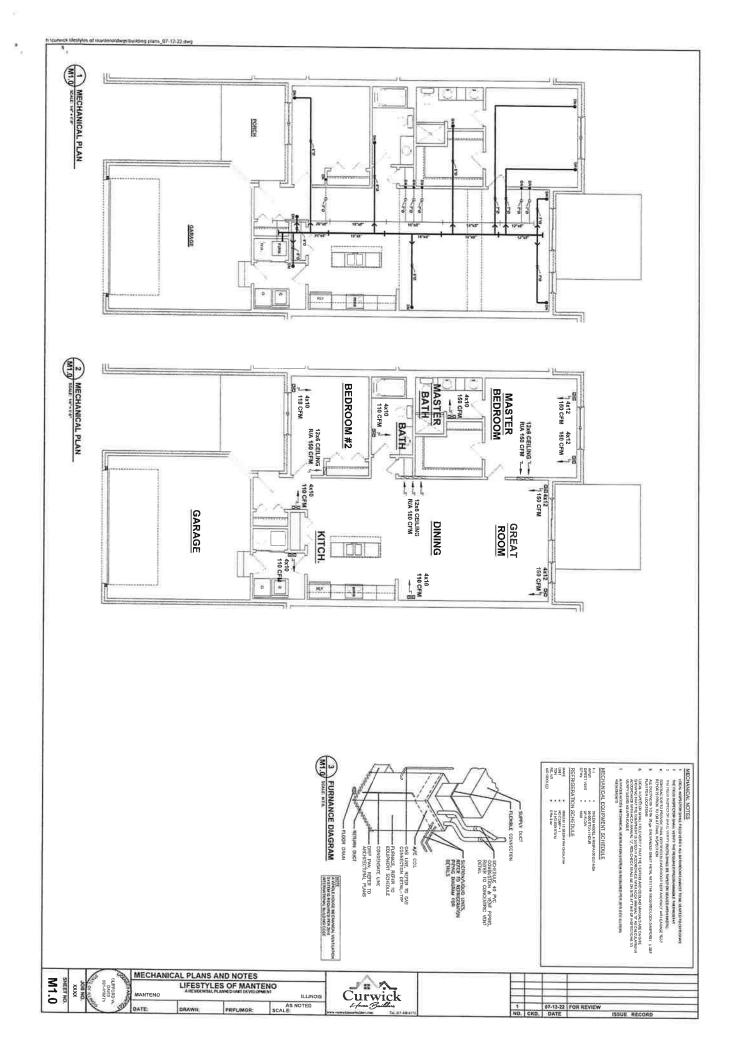


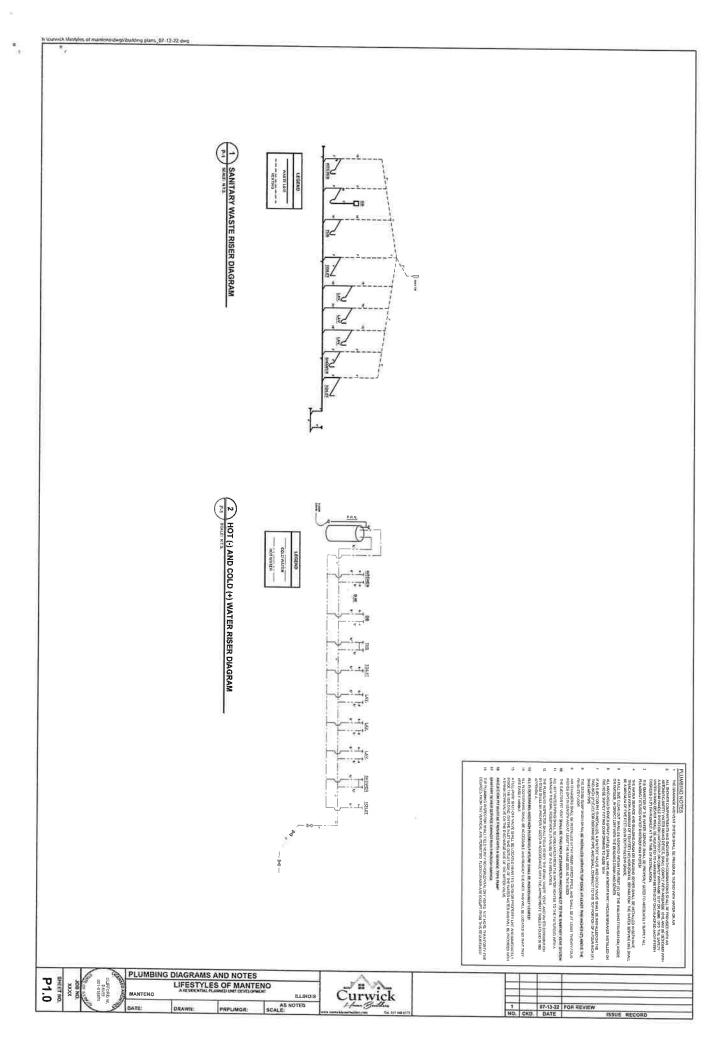












#### ARCHITECTURAL ACCENTS, FEATURES AND MATERIALS

Exterior features include:

Architectural shingles

Aluminum sofit & Facia

1st floor full brick

LP smart siding for accent in select gables

Vinyl windows

Aluminum clad raised panel garage doors with openers and keypads

Painted accent front fiberglass front door

Concrete patios windows accent fencing for separation

Asphalt driveway

Concrete front walks and porches

Decorative accent exterior coach lighting

Fully sodded and landscaped yards & common areas

#### PLANNING COMMISSION RECOMMENDATION NO. 23-09

A RECOMMENDATION APPROVING THE PRELIMINARY AND FINAL PLAT DEVELOPLMENT PLAN BY JERRY CURWICK, (OWNER & PETITIONER) FOR A PROPOSED SIXITY UNIT PUD DEVELOPMENT. LOCATED AT THE PARCEL COMMONLY KNOWN AS 03-02-24-217-024, MANTENO, ILLINOIS 60950.

WHEREAS, Jerry Curwick Owner and Petitioner, is the owner of real property commonly known Lifestyles of Manteno, Manteno, Illinois, and legally described as follows (hereinafter "Subject Property"):

#### LEGAL DESCRIPTION: SOUTH CREEK 2ND ADDN LOT 22 21-32-12E

#### PIN NUMBERS: 03-02-21-217-024

WHEREAS, the subject property is considered a P.U.D "Planned Unit Development"; and

WHEREAS, Section §9-4-8, Planned Unit Development, of the Municipal Code of the Village of Manteno references §9-4-8 Final Development Plan; and

WHEREAS, on March 12th, 2024, pursuant to notice, a meeting was held before the Planning Commission of the Village of Manteno on the above-referenced special use permit; and

WHEREAS, at the hearing, the Planning Commission did consider the testimony and exhibits entered into evidence.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the Village of Manteno, Kankakee County, Illinois, as follows:

#### Section 1

The recitals set forth in the above prefatory clauses are hereby adopted as the findings of the Planning Commission of the Village of Manteno and are expressly incorporated herein as a part of this recommendation.

#### Section 2

F 1 9

That the application of the Owner/Petitioner seeking the approval for a preliminary and final plat development plan from the requirements set forth in Title 9, Chapter 4, Article 8, to develop a PUD is a recommended to be granted as described above and shall be applicable to the subject property. That said approval provided for in Section One of this recommendation is based upon the following finding:

- All exterior material replacements need to match and be controlled by the property owner. This includes roofs, siding, and brick.
- The roads for this development are not being dedicated to the Village of Manteno, therefore plowing and all maintenance falls on the property owner. This would also include the maintenance of landscaping, streetlighting, driveways, and curbs.
- All storm sewers on site in this development should be the responsibility of the property owner to maintain.
- All buildings and units "entire project" must remain under one ownership and cannot be sold individually.
- Plat fees, for every unit built over one requires an additional \$1,000 plat fee when the building permit is applied for.
- This development will not be eligible to take part in the real estate tax rebate program or garbage program.
- All covenants, deed restrictions, and special use permit regulations should be "enforced" by the owner and village.

#### Section 3

That the application of the Owner and Petitioner seeking approval for the Preliminary and Final Plat Development Plan approval.

#### Section 4

That the Director of Building and Zoning shall incorporate the additional requirements provided for in Section One and Two of the recommendation from and after its approval by the Village President and Board of Trustees of the Village of Manteno.

PASSED by the Planning Commission of the Village of Manteno at a Regular Meeting thereof held on the  $12^{th}$  day of March, 2024 and approved by me as Chairman on the same day.

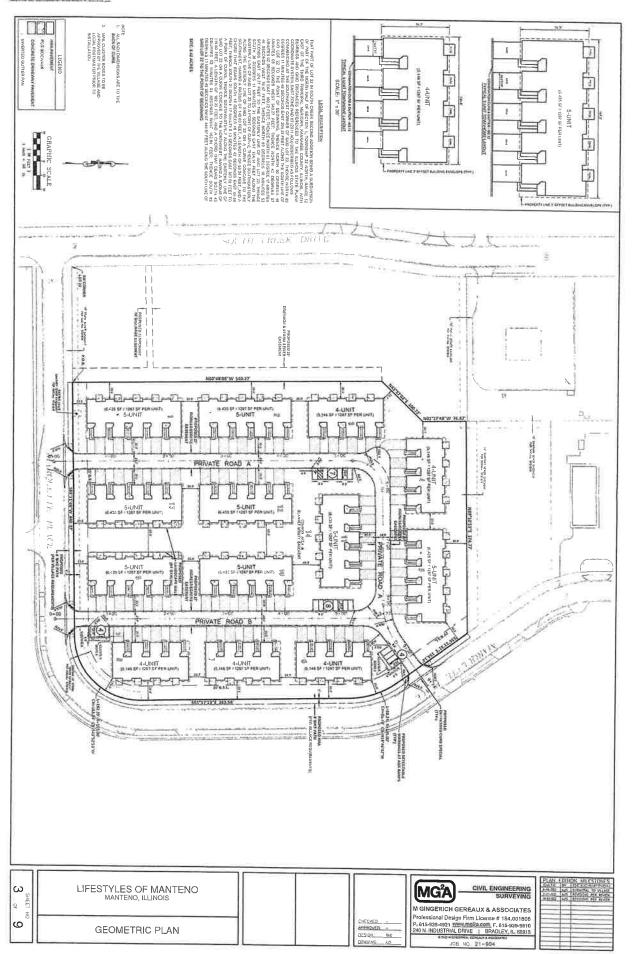
ATTEST:

Todd Creek

Acting Planning Commission Chairman

3

7 14 7



SOUTH CREEK DRIVE 000 00 # 124 = 700 EF -- D<sub>G</sub>---MARQUETTE PLACE 4 COMICH AREA . LIFESTYLES OF MANTENO MANTENO, ILLINOIS MGA APPROVED -DESIGN, FAIG PRELIMINARY PLAT

Bloom on