

ORDINANCE NO. 24-07

AN ORDINANCE APPROVING THE PRELIMINARY AND FINAL DEVELOPMENT PLATS/PLANS AND A SPECIAL USE PERMIT FOR THE LIFESTYLES OF MANTENO PLANNED UNIT DEVELOPMENT GOVERNING APPROXIMATELY 15.57 ACRES OF VACANT REAL PROPERTY LOCATED NORTHEAST OF SOUTHCREEK DRIVE AND MARQUETTE PLACE SOUTH (PIN 03-02-21-217-024)

TIMOTHY O. NUGENT

Village President

TIMOTHY J. BOYCE
TODD CROCKETT
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JOEL GESKY
SAMUEL J. MARTIN
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Trustees

ROBIN BATKA

Village Clerk

Prepared by
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Village Attorney

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WHEREAS, the Village of Manteno (“Village”) is a non-home rule municipality duly created and existing under the laws and Constitution of the State of Illinois;

WHEREAS, Curwick V, LLC, an Illinois limited liability company (“Petitioner” or “Owner/Developer”) is the owner of approximately 12.98 acres of land zoned “C-2” located northeast of Southcreek Drive and Marquette Place South, Manteno, Illinois, having a P.I.N. 03-02-21-217-027, and being legally described as “Lot 22 in South Creek 2nd Addition, being a subdivision of part of the North Half of Section 21, Township 32 North, Range 12 East of the Third Principal Meridian, in Kankakee County, Illinois” (hereinafter “Subject Property”);

WHEREAS, the Village approved a preliminary sketch plan for a planned unit development on the Subject Property for a portion thereof referred to as the “Lifestyles of Manteno”;

WHEREAS, on March 12, 2024, the Plan Commission of the Village of Manteno, pursuant to duly published notice, did hold a public hearing on the preliminary and final development plats/plans and a special use permit for the Lifestyles of Manteno planned unit development and the Petitioner and third-parties offered testimony and provided exhibits;

WHEREAS, the Plan Commission of the Village of Manteno did approve Recommendation 23-09, recommending that the Corporate Authorities of the Village approve the preliminary and final development plats/plans and a special use permit for the Lifestyles of Manteno planned unit development;

WHEREAS, on May 5, 2024, the Corporate Authorities of the Village did, through resolution, retroactively extend the time to twenty-eight (28) months following the approval of the sketch plan for the Developer to submit and have considered and approved the preliminary and final plans of development/plat of subdivision for the Lifestyles of Manteno planned unit development;

WHEREAS, the Corporate Authorities of the Village find that, subject to the Petitioner’s compliance with the matters and conditions set forth herein and the Declaration of Easements, Covenants and Restrictions to be recorded against the Subject Property, the Lifestyles of Manteno planned unit development is in compliance and otherwise satisfies the standards of Section 9-4-9 and Section 9-14-12 of the Village of Manteno Municipal Code; and,

WHEREAS, the Corporate Authorities of the Village have considered the petition, the record of the of the Plan Commission meeting and hearing on the petition, and Plan Commission Recommendation 23-09, and find that the approval of the preliminary and final plats/plans of development and a special use permit for the Lifestyles of Manteno planned unit development is reasonable, appropriate, and in furtherance of the public welfare.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Manteno, as follows:

Section 1

The recitals set forth in the above prefatory clauses are hereby adopted as the findings of the Village of Manteno and are expressly incorporated herein as a part of this ordinance.

Section 2

Subject to the matters, conditions, and stipulations set forth in this ordinance, the preliminary plat and the final plat/plan of development for the Lifestyles of Manteno planned unit development on and for the Subject Property, prepared by M. Gingerich Gereaux & Associates, dated August 16, 2022 with last revision date of October 3, 2023 (“PUD Plan”), which are incorporated herein by reference, are approved. The owner/developer shall pay a plat fee of \$1,000 per residential lot (\$14,000) payable in whole no later than thirty (30) days following the approval of this ordinance. In addition, the owner/developer shall pay a plat fee of \$1,000 per residential unit within each townhome building over one (1) residential unit when building permits are applied for each building in the Lifestyles of Manteno planned unit development.

Section 3

Subject to the matters, conditions, and stipulations set forth in this ordinance, a special use permit is granted for the Lifestyles of Manteno planned unit development on the Subject Property. Unless amended by ordinance, the PUD Plan and the plats provided therein and contemplated hereunder shall be valid and govern the use and development of the Subject Property.

Section 4

The approvals granted through this ordinance are subject to the following matters, conditions, and stipulations, which shall govern the plan, design, development, use, and operation of the Lifestyles of Manteno planned unit development on the portion of the Subject Property being developed for residential townhome uses as depicted in the PUD Plan. Reference to the planned unit development, generally, shall be a reference to the Subject Property. Any requirement, exception, process, matter or standard explicitly or implicitly authorized, set forth, or identifiable herein, in the PUD Plan, or on the final plat/plan of development for the Lifestyles of Manteno planned unit development and being contrary to the requirements of the Village Code shall be considered purposefully varied/excepted and granted subject to compliance with all other aspects of the final plan for the planned unit development, in whole.

A. *Generally:* The Subject Property shall be subdivided in accordance with the final plat/plan of development. The Subject Property is zoned C-2, Commercial, with a special use for a mixed-use planned unit development. The Lifestyles of Manteno planned unit development shall integrate multi-family residential townhomes with commercial uses. That portion of the Lifestyles of Manteno planned unit development to be developed residentially (Lots 1-14) (the “residential portion”) is approved and authorized as a part of a unified mixed-use development the commercial aspect (the “commercial portion”) of which will be incorporated into this ordinance at a later date. Unless excepted, varied or otherwise provided herein, the planning, development, and use of the Subject Property, whether the residential or the commercial portion, shall comply and conform to and with the requirements of Village Code.

B. *Commercial Development:* No development or use of the commercial portion of the planned unit development shall be permitted or authorized until such time as this ordinance is amended to account for the planning and development of the same following adherence to and compliance with all applicable procedures and standards of the Village Code. The commercial portion of the planned unit development shall not be conveyed, sold or transferred, and shall remain under the same ownership and control as the residential portion (Lots 1-14), until such time as this ordinance is amended to provide for the planning and development of the same. At the time this ordinance is amended, there shall be put in place a plan of unified control of the entire planned unit development in order to maintain the effectiveness and protections of the same. The Village recognizes that the commercial portion or parts thereof may be sold to third parties and the Village will not withhold its approval of any such amendment based on a change in ownership of the commercial portion or any part thereof, provided, prior to any such conveyance, sale or transfer, this ordinance is amended providing for development controls for the commercial portion to promote the harmonious development of the mixed uses within the entire planned unit development. No residential development or use shall be authorized for or on the commercial portion of the planned unit development or any portion thereof.

C. *Residential Development:*

(i) The residential portion of the Lifestyles of Manteno planned unit development (Lots 1-14) shall be held under the ownership of a single entity, partnership or person. No portion thereof may be sold, conveyed or otherwise transferred, voluntarily or otherwise, unless the entirety of the residential portion of the Lifestyles of Manteno planned unit development is so sold, conveyed and transferred as a part of the same transaction and only then to a single entity, partnership or person. The residential portion of the Subject Property shall not be conveyed, sold or transferred, and shall remain under the same ownership and control as the commercial portion, until such time as this ordinance is amended to provide for the planning and development of the commercial portion. The management, operation, maintenance and control of the residential portion of the Lifestyles of Manteno planned unit development shall be the responsibility of and performed by a designated property manager or, in its absence, the owner. Individual townhome units may be leased, but not sold, and shall remain under single ownership. No commercial

development or use shall be authorized for or on the residential portion of the planned unit development or any portion thereof.

(ii) There shall be permitted a maximum density of 7.128 units per acre within the residential portion of the Lifestyles of Manteno planned unit development. There shall be no more than thirteen (13) townhome buildings within the residential portion of the Lifestyles of Manteno planned unit development, one (1) per platted lot excepting Lot 14. There shall be no more than sixty (60) townhome units with attached garages within the residential portion of the Lifestyles of Manteno planned unit development. There shall be no more than five (5) townhome units, with attached garages, in each townhome building on Lots 1, 2, 5, 9-13, and said lots shall be approximately 11,992 square feet each. There shall be no more than four (4) townhome units, with attached garages, in each townhome building on Lots 3, 4, 6-8, and said lots shall be approximately 9,653 square feet each. The minimum square footage for each townhome unit shall be 1,287 square feet, excluding the garage. There shall be no townhome buildings or townhome units on Lot 14, which shall be approximately 222,410 square feet.

(iii) The townhome buildings on each lot shall be one (1) story and shall not exceed 20 feet in height, as measured from ground level to the peak of the roof. The front, rear, and side yard setbacks for the townhome buildings on each lot shall be as depicted in the PUD Plan. All exterior walls of individual townhome buildings shall be at least thirty (30') feet apart except that the exterior walls between the townhome buildings on Lot 6, 7 and 8 may be 29.7 feet. The design and make-up of all exterior components of the townhome buildings, including brick, siding, and roof, and their replacements, shall match and be constructed and made of the same style so as to present a consistent appearance throughout the planned unit development. Notwithstanding the above, the architectural elements of the townhome buildings, including roof lines, roof pitches, building elevations, and architectural accents may vary to present a townhome design. Aluminum soffits and gutters shall be allowed. The elevations depicted on Exhibit "A" and the architectural accents and materials identified on Exhibit "B" are hereby approved and deemed to be in conformance with the Village's Code. The townhome buildings may be constructed with slab on grade construction. Asphalt drive-ways for the units shall be allowed.

(iv) The Village shall approve monument signage within the Subject Property near the entrance locations proposed for the Subject Property. The Village hereby approves the development of the Subject Property with the parking spaces consisting of a combination of parking spaces in attached garages, parking spaces in driveways, and dedicated off-street parking spaces as depicted in the PUD Plan.

(v) Lot 14 shall consist of common property to remain under the same ownership and control as Lots 1 through 13. There shall be constructed and maintained private roadways through the residential portion of the planned unit development on Lot 14. All private roadways paved to the specifications of a minor residential street cross-section with the exception that the width of the same shall be at least twenty-seven (27') wide from back of curb to back of curb. No interior sidewalks shall be required, but an eight (8') foot wide asphalt/concrete bike/pedestrian path shall be installed along the perimeter of the Subject Property along Marquette Place. No designated

recreational or common open space is required to be installed. No parking shall be permitted on the private roadway. If requested by the Village, the owner shall authorize the Village to enforce parking prohibition with the Subject Property.

(vi) The residential portion of the Lifestyles of Manteno planned unit development, including all improvements, shall be maintained, repaired, improved, replaced and reconstructed so as to keep the same safe, free of breaks, holes, and defects, in a good condition, effective for the purpose that any portion thereof may be intended or devoted, and otherwise in accordance with all applicable laws. This shall include, but not be limited to: (a) the maintenance, repair, and replacement of the townhome buildings; (b) maintenance the maintenance, repair, and replacement of all common property and limited common property including, but not limited to, fences, drives, parkways, sidewalks, walkways, streets, curbs, and utilities (not otherwise conveyed to the Village or utility company); and (d) the continued maintenance and effectiveness of any common services such as refuse collection, grass cutting, landscaping, and snow removal services. The Village shall be notified promptly of the name and contact information for any property manager responsible for the management, operation, maintenance and control of the residential portion of the Lifestyles of Manteno planned unit development, and any changes thereto.

D. *Permitting and Construction.*

(i) The Village shall issue building permits upon approval of building and engineering plans for buildings within each phase of the Subject Property upon submission of a final plat depicting the lots within said phase. Each building shall be located within a lot created by such final plat. No more than one building shall be located within any lot. Upon completion of the improvements and buildings in such phase or portion thereof, the owner/developer shall cause to be prepared a plat identifying the exact location of the building and provided the buildings are located within the lot as depicted on the final plat approved by the Village, the Village shall issue an occupancy permit for the units in the building. The submittal of a survey showing each building contained within a lot depicted on the final plat shall be a condition to issuance of an occupancy permit for any unit in such building.

(ii) The Subject Property shall be allowed to be constructed in accordance with the PUD Plan in up to three (3) phases, provided all roadways, street lighting, the bike/pedestrian path, utility lines, and public improvements shall be constructed and completed in the first phase undertaken.

(iii) The townhome buildings shall be comprised of a mix of four (4) Unit and five (5) Unit buildings. Owner/developer shall have the right to adjust the mix of residential units based on market conditions and demand, provided the total number of units within the Subject Property shall not exceed sixty (60) and no building shall have more than five (5) units. Owner/developer shall have the right to deviate from the minimum square footage requirement by not more than five percent (5%) in the event that construction or design issues arise which make attaining the minimum square footage requirement impractical.

(iv) During normal business hours, full-time management shall be provided for the residential community, including a property manager and maintenance personnel. Management personnel shall be available seven (7) days a week. Owner/developer shall initially provide property management services from its offices at 600 N. Main Street, in Manteno, Illinois. Owner/developer shall cause rules and regulations to be adopted and implemented with respect to all tenants and guests within the Subject Property. A copy of said rules and regulations shall be provided to the Village. Any deeds conveying the Subject Property shall provide that the same are subject to the terms of the Special Use Permit.

(v) Stock-piling of topsoil shall be permitted and shall be maintained by owner/developer. Owner/developer shall maintain and implement effective dust control measures during mass excavation and grading activities for all areas which have been or are being cleared or excavated and which are not planted with ground cover.

(vi) After approval of the building plans for the first four (4) unit building and the first five (5) unit building, the Village shall limit its review of such building plans for additional buildings to any changes proposed in connection with such new buildings.

(vii) Owner/developer shall dedicate free of cost to the Village, such easements and public improvements within and upon the Subject Property as are contemplated by the terms of this Ordinance or the PUD Plan. The Village agrees that to the extent that any utility easements initially granted by Owner/developer are so called "blanket easements", upon completion of construction of such utilities, the Parties agree to cause such blanket easements to be vacated and to grant and record easements which are limited to the actual location of such as-built utility.

(viii) The parties acknowledge that storm water detention for the Subject Property has been previously provided in connection with other portions of South Creek Development. In the event that it is determined, based on the proposed development, that additional stormwater detention is required, the owner/developer shall have the right to provide additional detention areas, retention areas and storm water management areas (hereinafter collectively referred to as "detention areas") on portions of the Subject Property for such additional storm water generated by the development of the Subject Property in conformance with the Village's storm water management ordinances. All such detention areas within the Subject Property shall be constructed in accordance with Village ordinances and approved engineering plans and shall be constructed prior to the issuance of an occupancy permit for a residential structure in the Subject Property. Such additional detention, if required, may be connected to the detention facilities serving South Creek Development and shall be owned and maintained by the Village upon approval and dedication of the same.

(ix) All exterior lighting and other decorative illumination within the Subject Property shall be fully shielded and downward directed. Owner/developer shall be allowed to use either the Village's standard street lighting fixtures or the street lighting fixtures proposed in the PUD Plan. The style of such street lighting and lighting standard shall be subject to approval by the Village. No light standard shall exceed twenty (20) feet in height.

(x) Owner/developer shall require the installation of a landscape barrier or privacy fence along the easterly line of the commercial portion of the Subject Property in connection with the development of such commercial portion.

(xi) Owner/developer shall not be required to signalize the entrances, construct additional turn lanes or any other improvements to Marquette Place. Owner/developer shall not be required to dedicate any further right-of-way or easements for roadway purposes in connection with the development of the residential portion of the Subject Property.

(xii) Owner/developer and its successors, assignees and grantees, shall not object to and agree to cooperate with the Village, and the Village will establish, a special service area (“SSA”) for the residential portion of the Subject Property to be utilized as a backup mechanism for the care and maintenance of the common areas and facilities, which include but are not limited to common landscaped areas, subdivision monumentation, signage, and any other common areas of the subdivision. If at any time owner/developer or such successor, assignee or grantee fails to conduct such maintenance of the common areas and facilities, then the Village shall have the right, but not the obligation, to undertake such maintenance and utilize the SSA to provide sufficient funds to pay the costs of the maintenance of the common areas and facilities undertaken by the Village. The SSA shall provide for the authority of the Village to levy up to twenty cents (\$0.20) per \$100.00 of assessed valuation (“Rate Cap”) to fund the payment of the aforesaid costs and expenses. *Notwithstanding the foregoing, the Special Tax shall not be levied hereunder, and the SSA shall be “dormant”, and shall take effect only if the Village finds that Owner, or its successors, assignees or grantees have failed to conduct the maintenance of such common areas and facilities.*

(xiii) A maintenance easement (“Common Facilities Maintenance Easement”) shall be established over all of those common areas and facilities depicted on the PUD Plan in favor of the Village, provided nothing herein shall be construed to obligate or require the Village to provide any maintenance of or for said common areas and facilities. The substance of the Common Facilities Maintenance Easement shall be as approved by legal counsel for the Village and owner/developer, which approvals shall not be unreasonably withheld.

Section 5

The terms and provisions of the Declaration of Easements, Covenants and Restrictions of Lifestyles of Manteno dated _____, 2024, are incorporated herein by reference, shall govern the ownership, operation, control and maintenance of the Lifestyles of Manteno planned unit development and shall be enforceable by the Village against the Declarant, Developer, Property Manager, any Resident, and the Townhome Lot Owner, as defined therein, and their successors and assigns. No amendment or change to said Declaration of Easements, Covenants and Restrictions without written approval of the Village shall be valid, effective or enforceable unless so authorized in the original version.

Section 6

The Plan Commission's Recommendation 23-09 is hereby incorporated into this ordinance by reference.

Section 7

If any section, paragraph, clause or provision of this ordinance shall be held invalid, the invalidity thereof shall not affect any of the other provisions of this ordinance.

Section 8

All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed insofar as they conflict herewith.

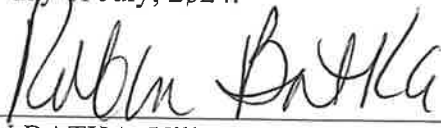
Section 9

This ordinance shall be in full force and effect after its passage and approval as provided by law.

This ordinance was passed and deposited in the office of the Village Clerk of the Village of Manteno this 1st day of July, 2024.

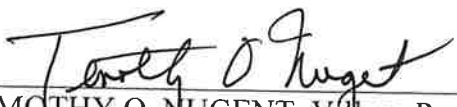
AYES: 5
NAYS: 0
ABSTAIN: 0

DEPOSITED with the Village Clerk
this 1st day of July, 2024.



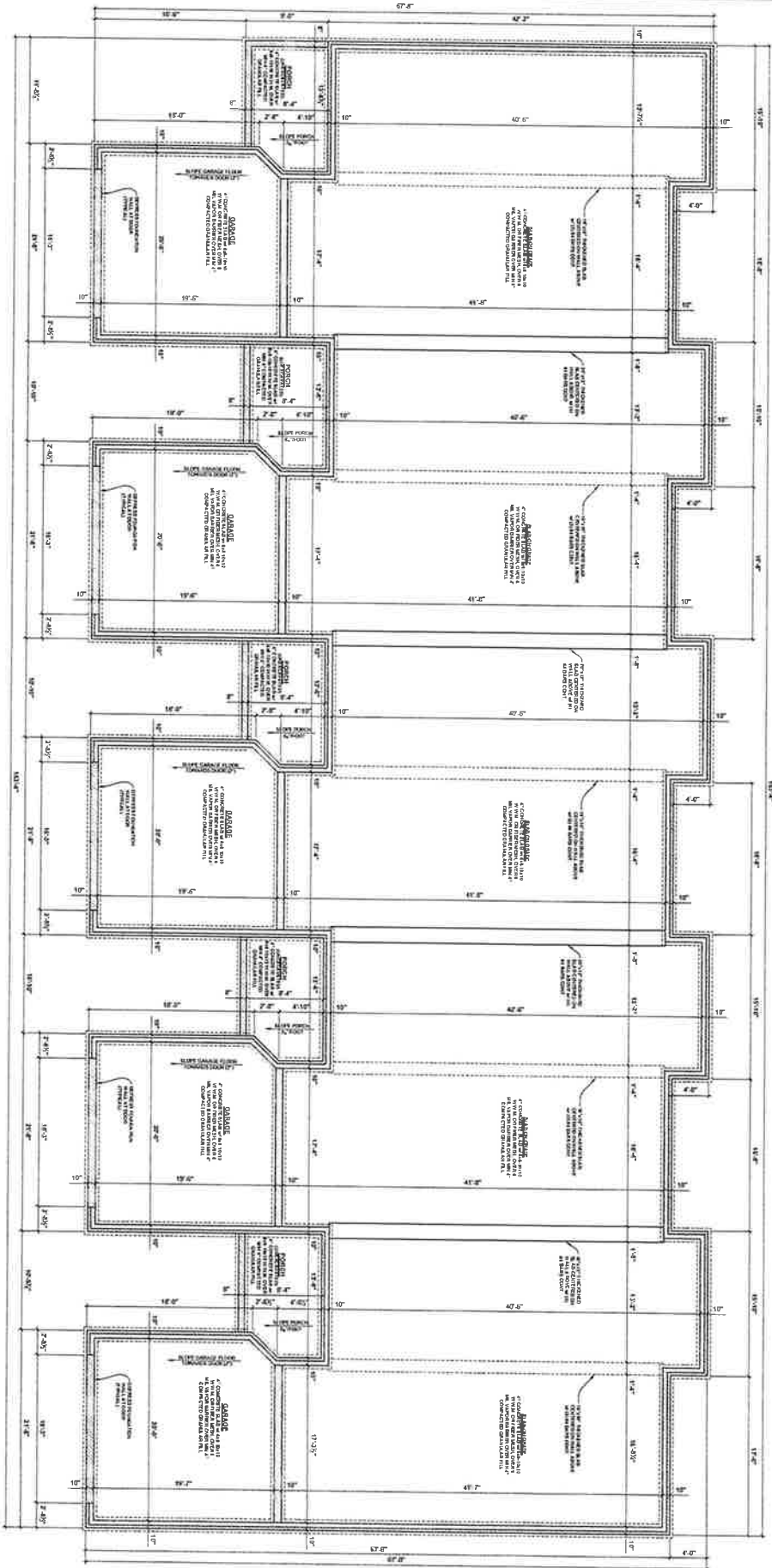
ROBIN BATKA, Village Clerk

APPROVED by me this 1st day
of July, 2024.



TIMOTHY O. NUGENT, Village President

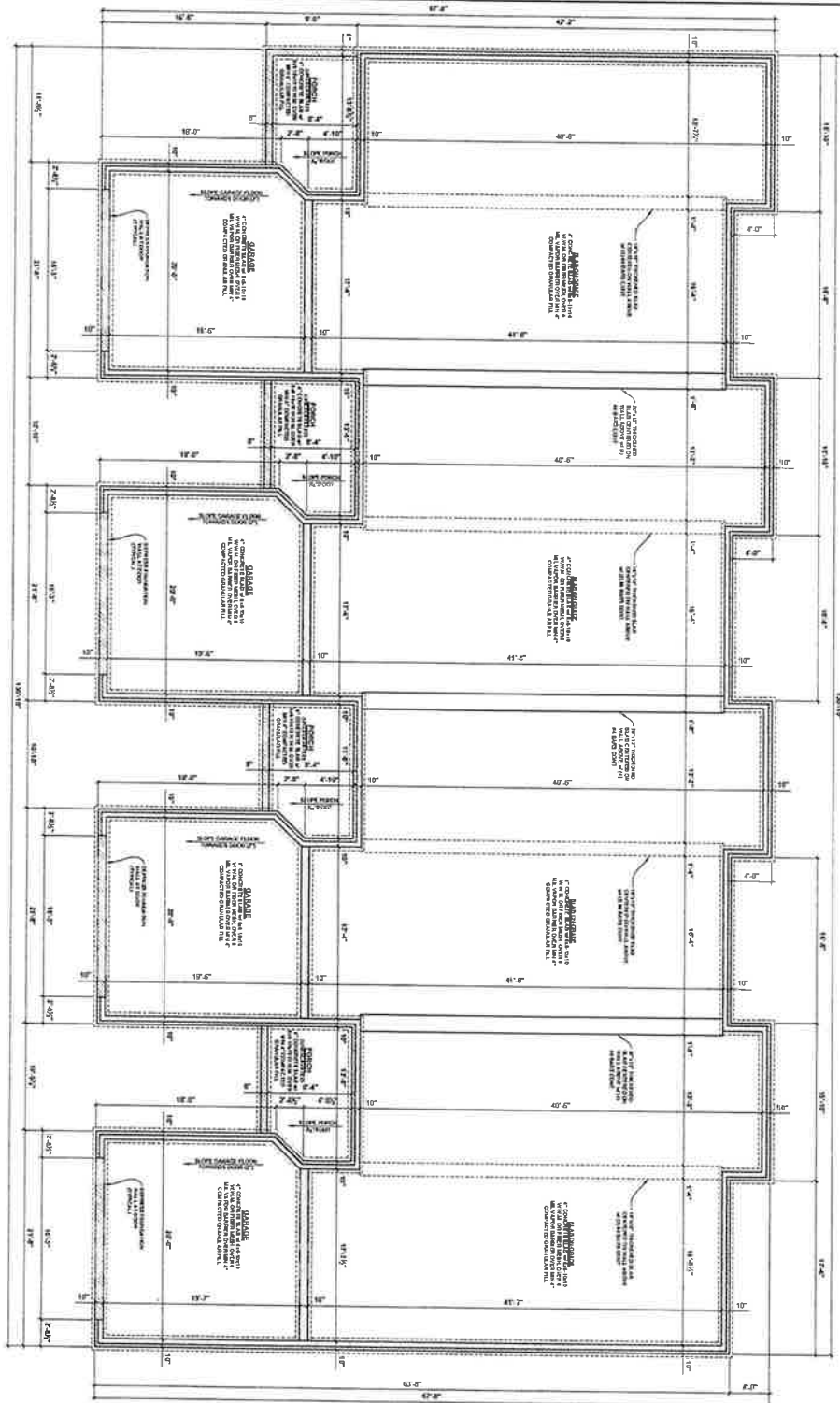
1 FOUNDATION PLAN - 5 UNIT
A1.0 SCALE: 1/4" = 1'-0"



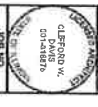
| | FOUNDATION PLAN - 5 UNIT LIFESTYLES OF MANTENO A RESIDENTIAL PLANNED UNIT DEVELOPMENT | | ILLINOIS NONE | | | | | | | | |
|---|---|----------|------------------|--------|------|------|--------------|---|--|----------|------------|
| | DATE: | DRAWN: | PRP/INCR: | SCALE: | | | | | | | |
| A1.0 SHEET NO. | JOB NO. XXX | | | | | | | | | | |
| <table border="1"> <thead> <tr> <th>NO.</th> <th>CKD.</th> <th>DATE</th> <th>ISSUE RECORD</th> </tr> </thead> <tbody> <tr> <td>1</td> <td></td> <td>07-13-22</td> <td>FOR REVIEW</td> </tr> </tbody> </table> | | | | NO. | CKD. | DATE | ISSUE RECORD | 1 | | 07-13-22 | FOR REVIEW |
| NO. | CKD. | DATE | ISSUE RECORD | | | | | | | | |
| 1 | | 07-13-22 | FOR REVIEW | | | | | | | | |

1
A1.1
SCALE: 1/4" = 1'-0"

FOUNDATION PLAN - 4 UNIT



JOB NO. XXX
SHEET NO. A1.1

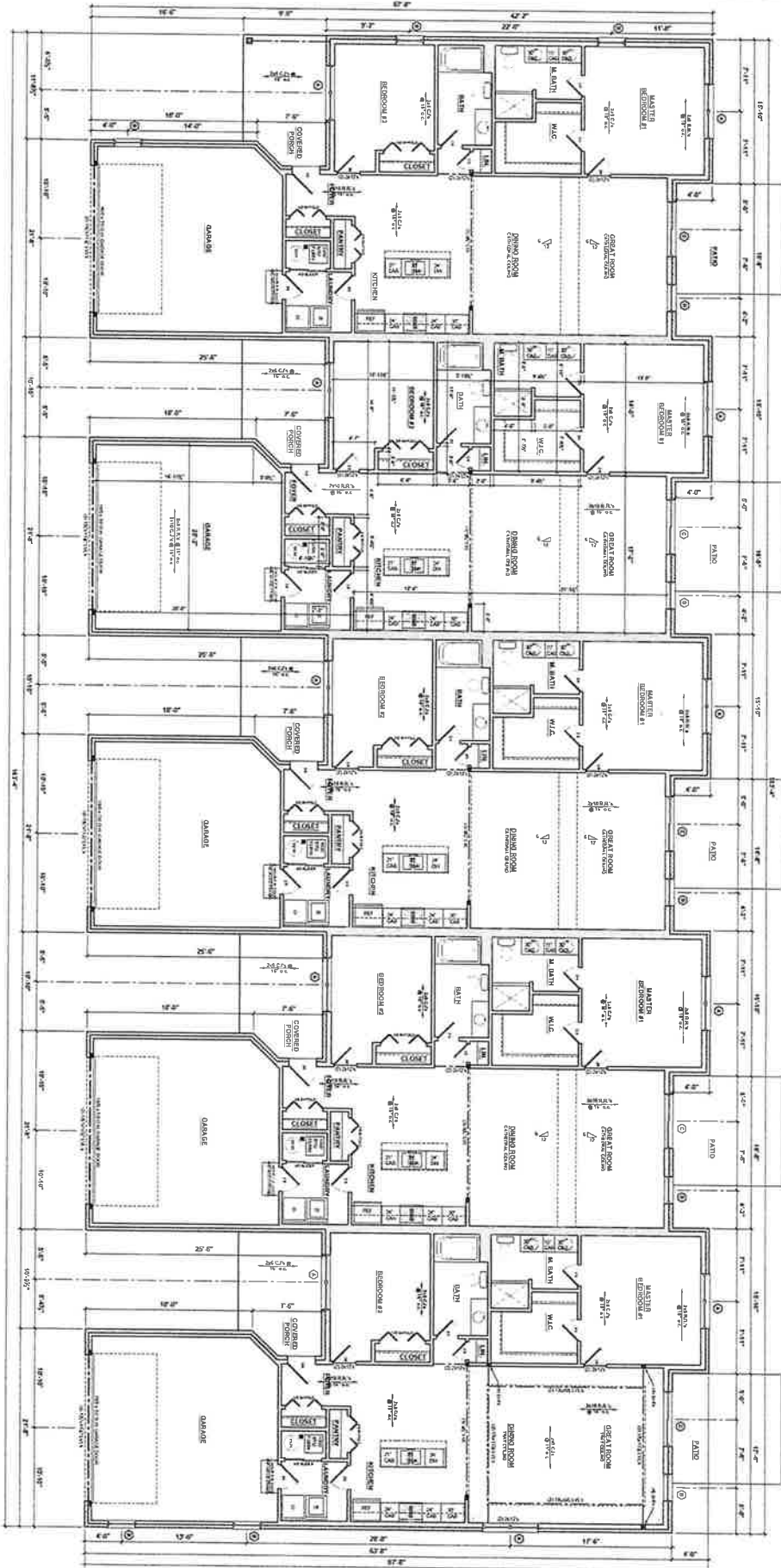


FOUNDATION PLAN - 4 UNIT
LIFESTYLES OF MANTENO
A RESIDENTIAL PLANNED UNIT DEVELOPMENT
MANTENO, ILLINOIS
DATE: _____ DRAWN: _____ PRP/MDR: _____ SCALE: NONE



| NO. | CHKD. | DATE | FOR REVIEW | ISSUE RECORD |
|-----|-------|----------|------------|--------------|
| 1 | | 07.13.22 | FOR REVIEW | |

1
FIRST FLOOR PLAN - 5 UNIT
SCALE: 1/8" = 1'-0"



LINDSAY WINDOW & DOOR SCHEDULE

| SYMBOL | DESCRIPTION | TYPE | FINISH | HEIGHT | WIDTH | QUANTITY |
|--------|----------------------|------|---------|-----------|-----------|----------|
| ① | TRIPLE GLAZED WINDOW | 6/4 | F-01 | 5'-0" | 5'-6 1/2" | 11 |
| ② | DOUBLE HUNG WINDOW | 6/4 | F-02 | 5'-0" | 5'-0" | 8 |
| ③ | TRIPLE GLAZED DOOR | P.O. | F-11/12 | 6'-8 1/2" | 4'-0" | 5 |

NOTE: ALL WINDOWS & DOORS TO BE EXHIBITED AND SHALL HAVE A LEAKAGE OF 0.34

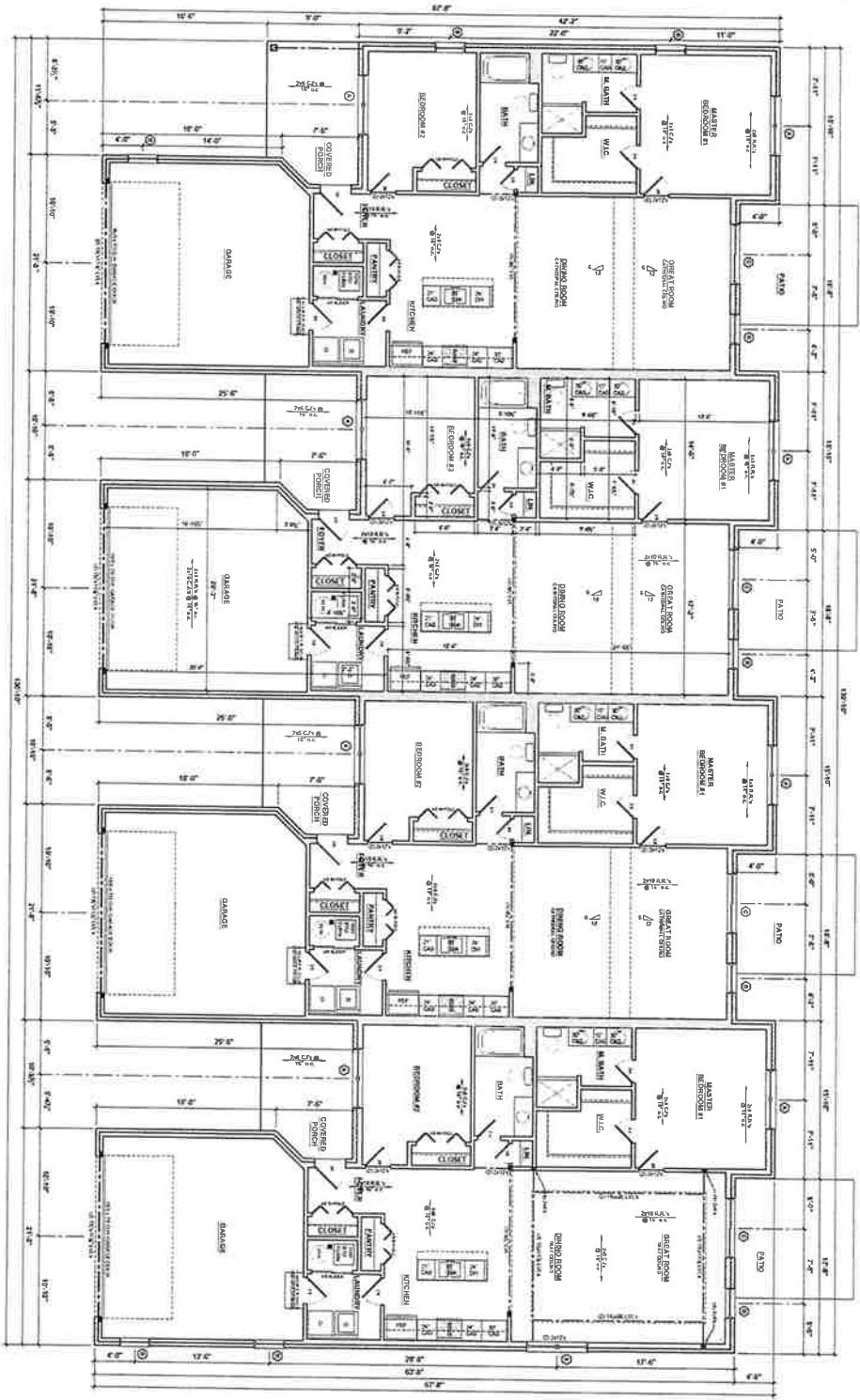
FIRST FLOOR PLAN - 5 UNIT
LIFESTYLES OF MANTENO
 A RESIDENTIAL PLANNING AND DEVELOPMENT
 MANTENO, ILLINOIS
 DATE: _____ DRAWN: _____ PRPL/MGR: _____ AS NOTED SCALE: _____

Curwick
Home Builders
 11111 S. W. 11th St., Suite 100
 Miami, FL 33155
 Tel: 305.444.1111

| NO. | CHKD. | DATE | FOR REVIEW | ISSUE RECORD |
|-----|-------|----------|------------|--------------|
| 1 | | 11-12-21 | FOR REVIEW | |

A2.0
 SHEET NO.
 JOB NO. XXXX
 DATE: 11/12/21

1
A2.1
FIRST FLOOR PLAN - 4 UNIT
SCALE: 1/8" = 1'-0"



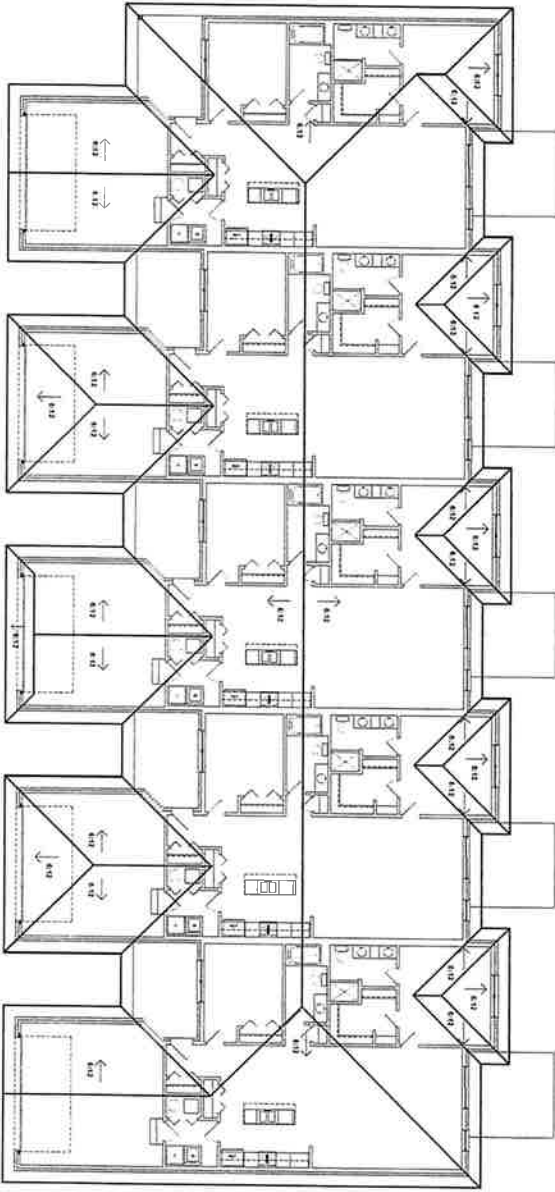
LINDSAY WINDOW & DOOR SCHEDULE

| SYM | LABELED UNIT | TYPE | MANUFACTURER | UNIT DESCRIPTION | MARKING |
|-----|----------------------|------|--------------|------------------|---------|
| (A) | TRIPLE GLAZED WINDOW | 3x6 | 4x4" | 6-20" | 6-20" |
| (B) | TRIPLE GLAZED WINDOW | 6x6 | 4x4" | 6-20" | 6-20" |
| (C) | TRIPLE GLAZED WINDOW | 6x6 | 4x4" | 6-20" | 6-20" |
| (D) | TRIPLE GLAZED WINDOW | 6x6 | 4x4" | 6-20" | 6-20" |
| (E) | TRIPLE GLAZED WINDOW | 6x6 | 4x4" | 6-20" | 6-20" |
| (F) | TRIPLE GLAZED WINDOW | 6x6 | 4x4" | 6-20" | 6-20" |
| (G) | TRIPLE GLAZED WINDOW | 6x6 | 4x4" | 6-20" | 6-20" |
| (H) | TRIPLE GLAZED WINDOW | 6x6 | 4x4" | 6-20" | 6-20" |
| (I) | TRIPLE GLAZED WINDOW | 6x6 | 4x4" | 6-20" | 6-20" |
| (J) | TRIPLE GLAZED WINDOW | 6x6 | 4x4" | 6-20" | 6-20" |
| (K) | TRIPLE GLAZED WINDOW | 6x6 | 4x4" | 6-20" | 6-20" |
| (L) | TRIPLE GLAZED WINDOW | 6x6 | 4x4" | 6-20" | 6-20" |
| (M) | TRIPLE GLAZED WINDOW | 6x6 | 4x4" | 6-20" | 6-20" |
| (N) | TRIPLE GLAZED WINDOW | 6x6 | 4x4" | 6-20" | 6-20" |
| (O) | TRIPLE GLAZED WINDOW | 6x6 | 4x4" | 6-20" | 6-20" |
| (P) | TRIPLE GLAZED WINDOW | 6x6 | 4x4" | 6-20" | 6-20" |
| (Q) | TRIPLE GLAZED WINDOW | 6x6 | 4x4" | 6-20" | 6-20" |
| (R) | TRIPLE GLAZED WINDOW | 6x6 | 4x4" | 6-20" | 6-20" |
| (S) | TRIPLE GLAZED WINDOW | 6x6 | 4x4" | 6-20" | 6-20" |
| (T) | TRIPLE GLAZED WINDOW | 6x6 | 4x4" | 6-20" | 6-20" |
| (U) | TRIPLE GLAZED WINDOW | 6x6 | 4x4" | 6-20" | 6-20" |
| (V) | TRIPLE GLAZED WINDOW | 6x6 | 4x4" | 6-20" | 6-20" |
| (W) | TRIPLE GLAZED WINDOW | 6x6 | 4x4" | 6-20" | 6-20" |
| (X) | TRIPLE GLAZED WINDOW | 6x6 | 4x4" | 6-20" | 6-20" |
| (Y) | TRIPLE GLAZED WINDOW | 6x6 | 4x4" | 6-20" | 6-20" |
| (Z) | TRIPLE GLAZED WINDOW | 6x6 | 4x4" | 6-20" | 6-20" |

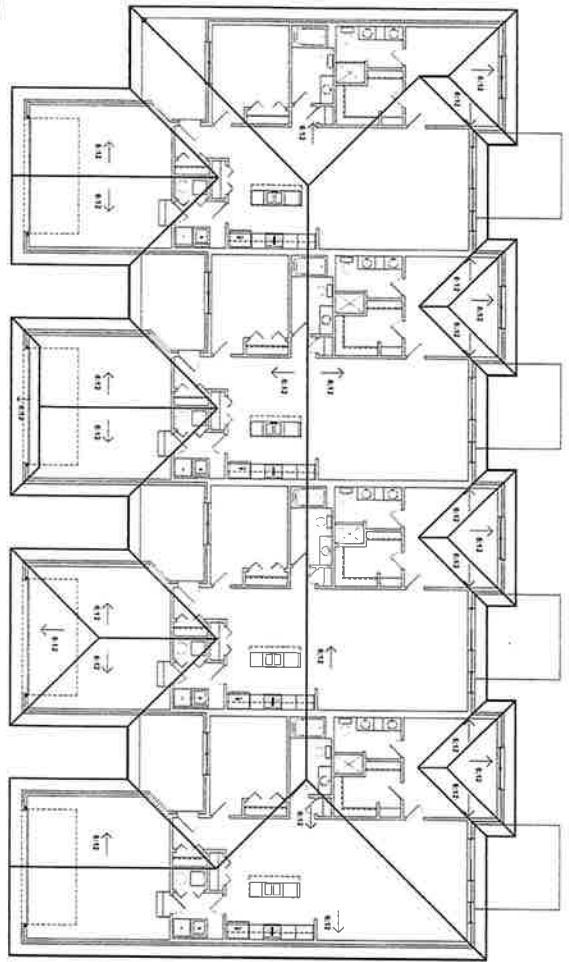
NOTE: ALL WINDOWS & DOORS SCHEDULED ARE TO BE MADE WITH A VERTICAL OF 6.88

| | | | | | | | | |
|--------------------------------|--|--------|--|-----------|--------|----------|--------------|------------|
| | FIRST FLOOR PLAN - 4 UNIT LIFESTYLES OF MANTENO A RESIDENTIAL PLANNED UNIT DEVELOPMENT MANTENO ILLINOIS | | | NO. | 1 | DATE | 11-12-21 | FOR REVIEW |
| | DATE: | DRAWN: | | PRPL/MGR: | SCALE: | AS NOTED | ISSUE RECORD | |
| JOB NO. XXXX SHEET NO. A2.1 | | | | | | | | |

1 ROOF PLAN - 5 UNIT
SCALE: 3/8" = 1'-0"



2 ROOF PLAN - 4 UNIT
SCALE: 3/8" = 1'-0"



NOTES

1. UNLESS NOTED OTHERWISE, ALL ROOFING SHALL BE 1/2" THICK 12 GA. GALVALUMED STEEL ROOFING.
2. ROOF RAFTERS TO BE 2X12, SPACED @ 16" O.C. @ 90° TO WALLS. ROOF TRUSSES TO BE 2X12, SPACED @ 16" O.C. @ 90° TO WALLS. ROOF TRUSSES TO BE 2X12, SPACED @ 16" O.C. @ 90° TO WALLS. ROOF TRUSSES TO BE 2X12, SPACED @ 16" O.C. @ 90° TO WALLS.
3. PROVIDE 2X6 OR 2X8 CEILING TRUSSES WITH 1/2" THICK 12 GA. GALVALUMED STEEL CEILING.
4. ALL ROOF SHINGLES SHALL HAVE A MINIMUM 15 YEAR WARRANTY.
5. ALL ROOF SHINGLES SHALL HAVE A MINIMUM 15 YEAR WARRANTY.
6. ALL ROOF SHINGLES SHALL HAVE A MINIMUM 15 YEAR WARRANTY.
7. PROVIDE 2X6 VENTERS TO BE LOCATED IN THE ROOF AREA. PROVIDE 2X6 VENTERS TO BE LOCATED IN THE ROOF AREA. PROVIDE 2X6 VENTERS TO BE LOCATED IN THE ROOF AREA.
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| ROOF PITCHES | | | |
|--------------|--------------|-------------|---------------|
| UNIT NO. | RAFTER PITCH | TRUSS PITCH | CEILING PITCH |
| 1 | 12/12 | 12/12 | 12/12 |
| 2 | 12/18 | 12/18 | 12/18 |
| 3 | 12/24 | 12/24 | 12/24 |
| 4 | 12/12 | 12/12 | 12/12 |
| 5 | 12/18 | 12/18 | 12/18 |
| 6 | 12/24 | 12/24 | 12/24 |
| 7 | 12/12 | 12/12 | 12/12 |
| 8 | 12/18 | 12/18 | 12/18 |
| 9 | 12/24 | 12/24 | 12/24 |
| 10 | 12/12 | 12/12 | 12/12 |
| 11 | 12/18 | 12/18 | 12/18 |
| 12 | 12/24 | 12/24 | 12/24 |
| 13 | 12/12 | 12/12 | 12/12 |
| 14 | 12/18 | 12/18 | 12/18 |
| 15 | 12/24 | 12/24 | 12/24 |
| 16 | 12/12 | 12/12 | 12/12 |
| 17 | 12/18 | 12/18 | 12/18 |
| 18 | 12/24 | 12/24 | 12/24 |
| 19 | 12/12 | 12/12 | 12/12 |
| 20 | 12/18 | 12/18 | 12/18 |
| 21 | 12/24 | 12/24 | 12/24 |

ROOF PLANS

LIFESTYLES OF MANTENO
A RESIDENTIAL PLANNING UNIT DEVELOPMENT

ILLINOIS

DATE: _____ DRAWN: _____ PRP/INGR: _____ SCALE: AS NOTED

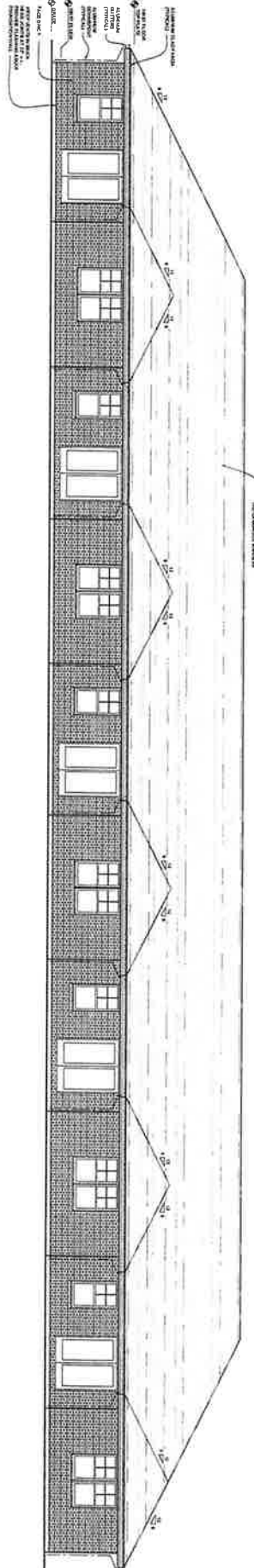
Curwick
A Fine Builders

www.curwickbuilders.com Tel: 618.688.6771

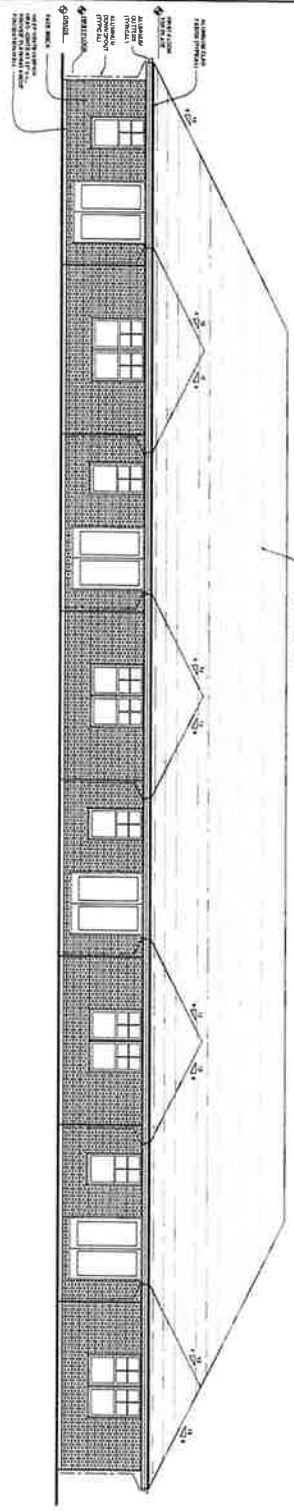
| NO. | CHKD. | DATE | FOR REVIEW | ISSUE RECORD |
|-----|-------|----------|------------|--------------|
| 1 | | 11-12-21 | | |

JOB NO. XXXX
SHEET NO. A3.0

1 REAR ELEVATION - 5 UNIT
Scale: 1/8" = 1'-0"



2 REAR ELEVATION - 4 UNIT
Scale: 1/8" = 1'-0"



AA.1
SHEET NO.
3025

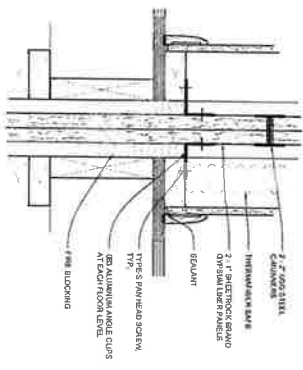


REAR ELEVATIONS
LIFESTYLES OF MANTENO
A RESIDENTIAL PLANNED UNIT DEVELOPMENT
MANTENO ILLINOIS
DATE: DRAWN: PRJ/PLMGR: AS NOTED SCALE:

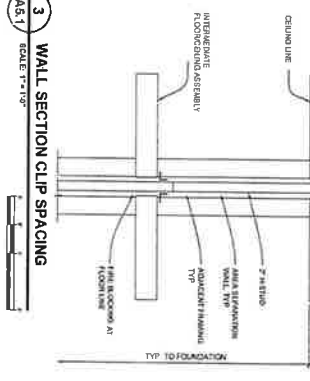


| NO. | CHKD. | DATE | FOR REVIEW | ISSUE RECORD |
|-----|-------|----------|------------|--------------|
| 1 | | 07-13-22 | FOR REVIEW | |

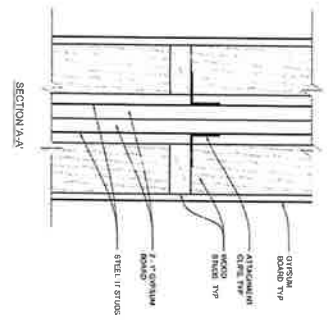
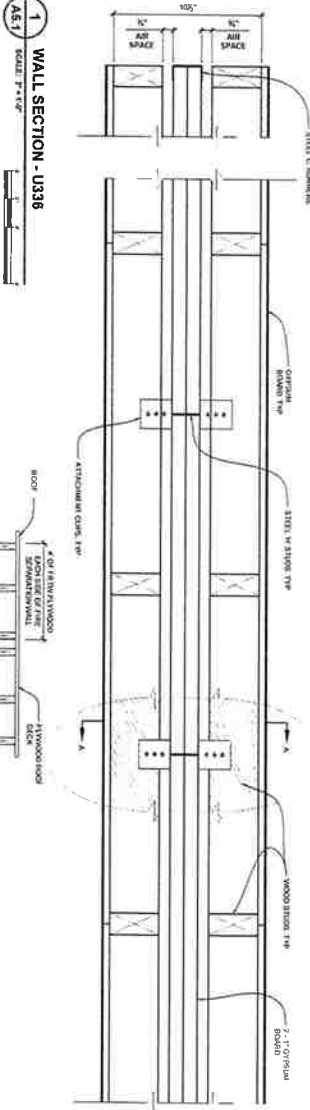
1 WALL SECTION - U336
SCALE: 7/8"=1'-0"



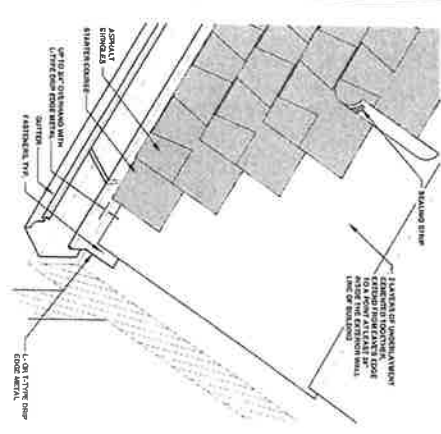
2 INTERMEDIATE FLOOR ASSEMBLY
SCALE: 7/8"=1'-0"



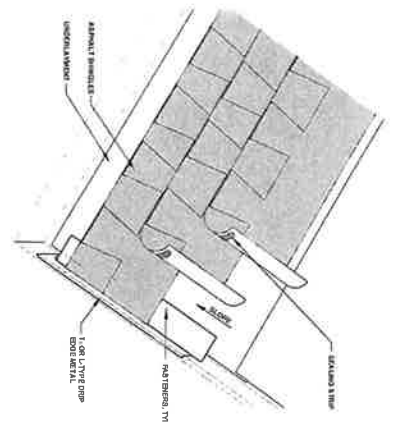
3 WALL SECTION CLIP SPACING
SCALE: 7/8"=1'-0"



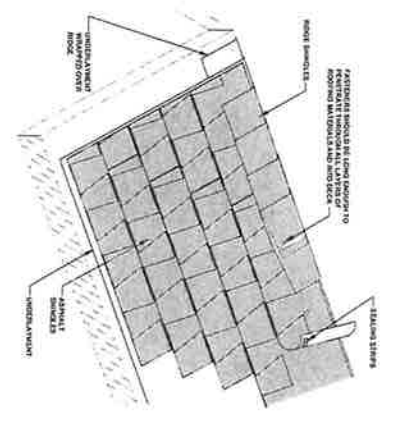
| | | | | | |
|----------------|--|--------|--------|---|----------------------------|
| | SECTIONS AND DETAILS LIFESTYLES OF MANTENO A RESIDENTIAL PLANNED UNIT DEVELOPMENT | | | 1 NO. CKD. DATE FOR REVIEW 07-13-22 | FOR REVIEW ISSUE RECORD |
| | DATE: | DRAWN: | | | |
| SHEET NO. A5.1 | JOB NO. XXXX | DATE: | DRAWN: | PRPLMGR: | SCALE: AS NOTED |



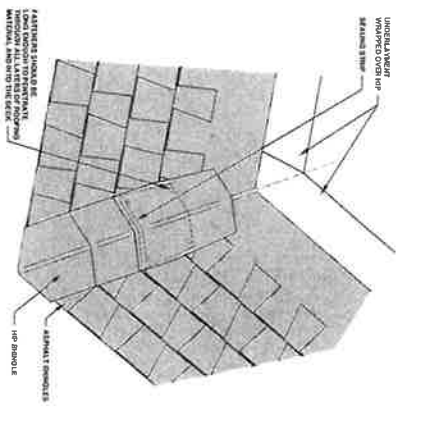
1 EAVE WITH GUTTER DETAIL
A5.2 SCALE: NTS



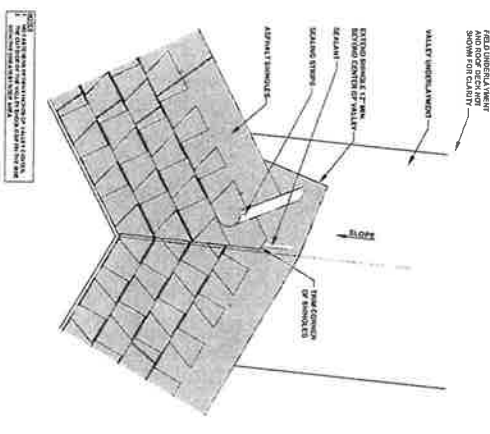
2 RAKE DETAIL
A5.2 SCALE: NTS



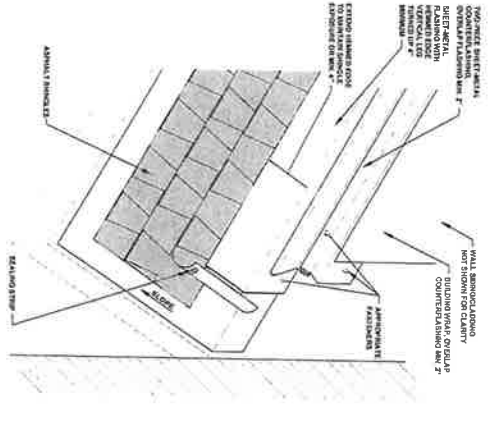
3 NON-VENTED RIDGE DETAIL
A5.2 SCALE: NTS



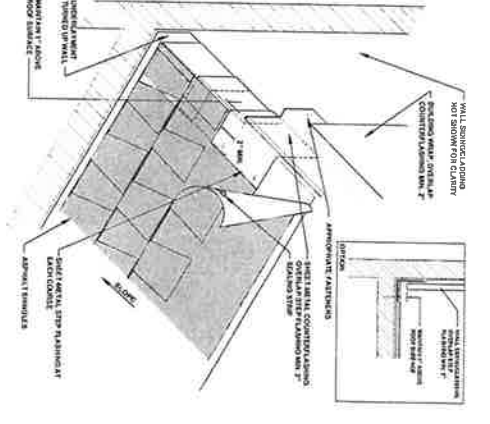
4 HIP DETAIL
A5.2 SCALE: NTS



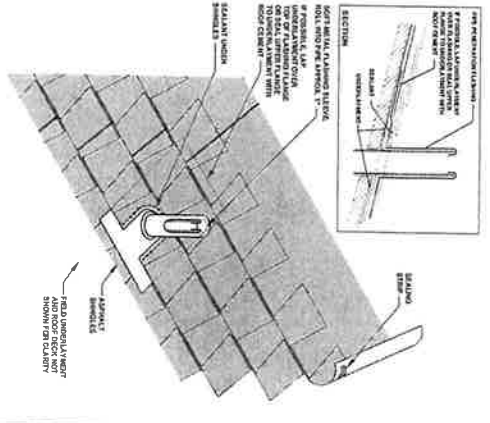
5 CLOSED-CUT VALLEY DETAIL
A5.2 SCALE: NTS



6 HEADWALL FLASHING DETAIL
A5.2 SCALE: NTS



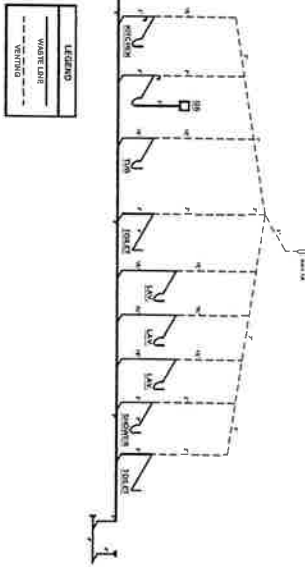
7 SIDEWALL FLASHING DETAIL
A5.2 SCALE: NTS



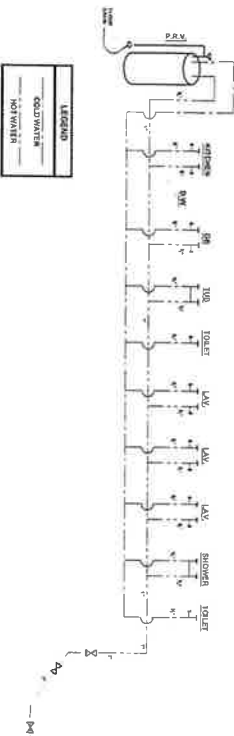
8 VENT PIPE PENETRATION DETAIL
A5.2 SCALE: NTS

| | | | | |
|---|-----------------|-----------------------------------|---|------------------------|
| <p>SECTIONS AND DETAILS</p> <p>LIFESTYLES OF MANTENO</p> <p>MANTENO ILLINOIS</p> | | <p>Curwick & Son Builders</p> | <p>NO. 1</p> <p>07-15-22 FOR REVIEW</p> | |
| <p>DATE:</p> | <p>DRAWN:</p> | | <p>PRJLMGR:</p> | <p>SCALE: AS NOTED</p> |
| <p>JOB NO. XXXX</p> <p>SHEET NO. A5.2</p> | <p>ILLINOIS</p> | | <p>NO. CKD. DATE</p> | |

1 SANITARY WASTE RISER DIAGRAM
P-1 SCALE: N1/2



2 HOT (+) AND COLD (-) WATER RISER DIAGRAM
P-2 SCALE: N1/2



- PLUMBING NOTES**
1. THE DRAWING AND/OR SECTION SHALL BE PREPARED USING THE FOLLOWING NOTES:
 2. ALL SERVICE CONNECTIONS AND BRANCHING CONNECTIONS SHALL BE PROVIDED WITH AN APPROVED MANUFACTURER'S LISTED AND APPROVED VALVE WITH THE SERVICE CONNECTIONS TO BE PROVIDED AT THE END OF THE SERVICE LINE.
 3. THE SERVICE LINE SHALL BE PROVIDED TO ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
 4. THE WASTE SERVICE AND BRANCHING CONNECTIONS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE SERVICE LINE SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 5. ALL SIZE DESIGN SHALL BE TO THE MANUFACTURER'S INSTRUCTIONS. THE SERVICE LINE SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 6. ALL SERVICE CONNECTIONS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 7. THE SERVICE LINE SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 8. ALL SERVICE CONNECTIONS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 9. ALL SERVICE CONNECTIONS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
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 20. ALL SERVICE CONNECTIONS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

PLUMBING DIAGRAMS AND NOTES
LIFESTYLES OF MANTENO
 A RESIDENTIAL PLANNED UNIT DEVELOPMENT
 ILLINOIS

DATE: _____ DRAWN BY: _____ PROJECT NO.: _____ SCALE: AS NOTED

Curwick
A Home Builders
 www.curwick.com Tel. 815.468.4173

JOB NO. XXXX
 SHEET NO. P1.0

| NO. | CHKD. | DATE | FOR REVIEW | ISSUE RECORD |
|-----|-------|----------|------------|--------------|
| 1 | | 07-13-22 | FOR REVIEW | |

ARCHITECTURAL ACCENTS, FEATURES AND MATERIALS

Exterior features include:

Architectural shingles

Aluminum soffit & Facia

1st floor full brick

LP smart siding for accent in select gables

Vinyl windows

Aluminum clad raised panel garage doors with openers and keypads

Painted accent front fiberglass front door

Concrete patios windows accent fencing for separation

Asphalt driveway

Concrete front walks and porches

Decorative accent exterior coach lighting

Fully sodded and landscaped yards & common areas

PLANNING COMMISSION RECOMMENDATION NO. 23-09

A RECOMMENDATION APPROVING THE PRELIMINARY AND FINAL PLAT DEVELOPLMENT PLAN BY JERRY CURWICK, (OWNER & PETITIONER) FOR A PROPOSED SIXITY UNIT PUD DEVELOPMENT. LOCATED AT THE PARCEL COMMONLY KNOWN AS 03-02-24-217-024, MANTENO, ILLINOIS 60950.

WHEREAS, Jerry Curwick Owner and Petitioner, is the owner of real property commonly known Lifestyles of Manteno, Manteno, Illinois, and legally described as follows (hereinafter "Subject Property"):

LEGAL DESCRIPTION:

SOUTH CREEK 2ND ADDN LOT 22 21-32-12E

PIN NUMBERS: 03-02-21-217-024

WHEREAS, the subject property is considered a P.U.D "Planned Unit Development"; and

WHEREAS, Section §9-4-8, Planned Unit Development, of the Municipal Code of the Village of Manteno references §9-4-8 Final Development Plan; and

WHEREAS, on March 12th, 2024, pursuant to notice, a meeting was held before the Planning Commission of the Village of Manteno on the above-referenced special use permit; and

WHEREAS, at the hearing, the Planning Commission did consider the testimony and exhibits entered into evidence.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the Village of Manteno, Kankakee County, Illinois, as follows:

Section 1

The recitals set forth in the above prefatory clauses are hereby adopted as the findings of the Planning Commission of the Village of Manteno and are expressly incorporated herein as a part of this recommendation.

Section 2

That the application of the Owner/Petitioner seeking the approval for a preliminary and final plat development plan from the requirements set forth in Title 9, Chapter 4, Article 8, to develop a PUD is recommended to be granted as described above and shall be applicable to the subject property. That said approval provided for in Section One of this recommendation is based upon the following finding:

- All exterior material replacements need to match and be controlled by the property owner. This includes roofs, siding, and brick.
- The roads for this development are not being dedicated to the Village of Manteno, therefore plowing and all maintenance falls on the property owner. This would also include the maintenance of landscaping, streetlighting, driveways, and curbs.
- All storm sewers on site in this development should be the responsibility of the property owner to maintain.
- All buildings and units "entire project" must remain under one ownership and cannot be sold individually.
- Plat fees, for every unit built over one requires an additional \$1,000 plat fee when the building permit is applied for.
- This development will not be eligible to take part in the real estate tax rebate program or garbage program.
- All covenants, deed restrictions, and special use permit regulations should be "enforced" by the owner and village.

Section 3

That the application of the Owner and Petitioner seeking approval for the Preliminary and Final Plat Development Plan approval.

Section 4

That the Director of Building and Zoning shall incorporate the additional requirements provided for in Section One and Two of the recommendation from and after its approval by the Village President and Board of Trustees of the Village of Manteno.

PASSED by the Planning Commission of the Village of Manteno at a Regular Meeting thereof held on the 12th day of March, 2024 and approved by me as Chairman on the same day.



Todd Creek
Acting Planning Commission Chairman

ATTEST: